

ATLANTIC  BEACH
Golf Estate Cape Town

ARCHITECTURAL
DESIGN MANUAL
PHASE II

BRUNSWICK VILLAGE
COLEBROOKE VILLAGE
SAXONBURG VILLAGE

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in association with The Planning Partnership

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CONTENTS		PAGE NOS
1.	INTRODUCTION	4
2.	BUILDING ENVELOPE	5
2.1	General Guidelines	5
2.2	Building Lines	6
3.	BUILT FORM	10
3.1	Plan Shape	10
3.2	Height	12
4.	ROOFS	14
4.1	Roofs Pitched	14
4.2	Materials and Colour	18
4.3	Roof Lights and Windows	19
4.4	Dormer Windows/Doors	20
5.	GABLES, EAVES, PARAPETS AND GUTTERS	23
6.	CHIMNEYS	25
7.	WALL MATERIALS AND FINISHES	26
7.1	Wall Construction	26
7.2	Wall Finishes	26
8.	WINDOWS	28
8.1	Window Types	28
8.2	Window Finishes	29
9.	DOORS	30
9.1	Doors in Major and Minor Elements	30
9.2	Door Finishes	31
9.3	Garage Door	32
10.	SHUTTERS	34
11.	VERANDAHS AND PERGOLAS	34
11.1	General	34
11.2	Support Types	35
11.3	Finish and Colour	35
12.	RETAINING STRUCTURE	36
13.	BALCONIES	37
13.1.	General	37
13.2	Balcony Supports	38
13.3	Balustrading	38
13.4	Balcony Screen Walls	39



14.	BOUNDARY WALLS AND FENCES	41
14.1	General	41
14.2	Street Boundary Walls/ Fences	41
14.3	Side Boundary Walls/ Fences	43
14.4	Golf Course Boundary Walls/ Fences	45
14.5	Piers	45
14.6	Vibracrete Fences	45
14.7	Gates	45
14.8	Finishes and Colours	45
15.	BRAAIS	46
16.	SWIMMING POOLS	48
16.1	General	48
16.2	Swimming Pool Fences	49
16.3	Drainage	49
16.4	Pool Decks	49
16.5	Swimming Pool Pumps	49
17.	CONSERVATORIES	50
18.	PARKING DRIVEWAYS AND CARPORTS	51
18.1	Parking	51
18.2	Driveways	51
18.3	Finishes for Driveways and Parking Bays	51
18.4	Carports	51
19.	OUTBUILDINGS	53
20.	SERVICES	54
20.1	Satellite Dishes	54
20.2	Service Pipes	54
20.3	Air Conditioners	54
20.4	House Numbers	54
20.5	Clothes Lines	54
20.6	Electrical Metre Box	55
20.7	Rainwater Tanks	55
20.8	Lighting Externally	55
20.9	Solar Heating	55
21.	BUILDING PLAN SUBMISSION	56
21.1	General	56
21.2	Information Required on Plans	56
22.	LANDSCAPING CHARACTER	57
23.	CONDITIONS	57
24.	RESTRICTIONS	58
25.	PLANT SPECIES NOT PERMITTED	59
26.	SELECTED RIGHT SPECIES REQUIRED	60
27.	HARD LANDSCAPING	65



1. INTRODUCTION

The intention is to develop a unique cohesive architectural character for this development as an appropriate response to its sensitive environment. To this end the combination of traditional Cape architectural elements and the use of natural building materials will be encouraged. This Design Manual has therefore been developed to exclude certain forms, materials and colours.

These guidelines should not be seen as a restrictive measure but as an instrument to maintain an overall design sensitivity, whilst allowing flexibility for individual expression.

The manual is supplementary to the National Building Regulations and requirements of the local authority.

All building designs are to be presented in sketch form, and working drawings to the Atlantic Beach Design Review Committee. The procedure and requirements are set out at the end of this document.

All plans must be approved by the Atlantic Beach Design Review Committee prior to submission to Council as a condition of title.

Note: These guidelines will be subject to periodical revision.

The Atlantic Beach Design Committee reserves the right to interpret this manual and approve plans at its discretion.

Where the Atlantic Beach Design Committee permits variations, these are in respect of specific site conditions, and should not be considered as a permanent amendment to the manual.

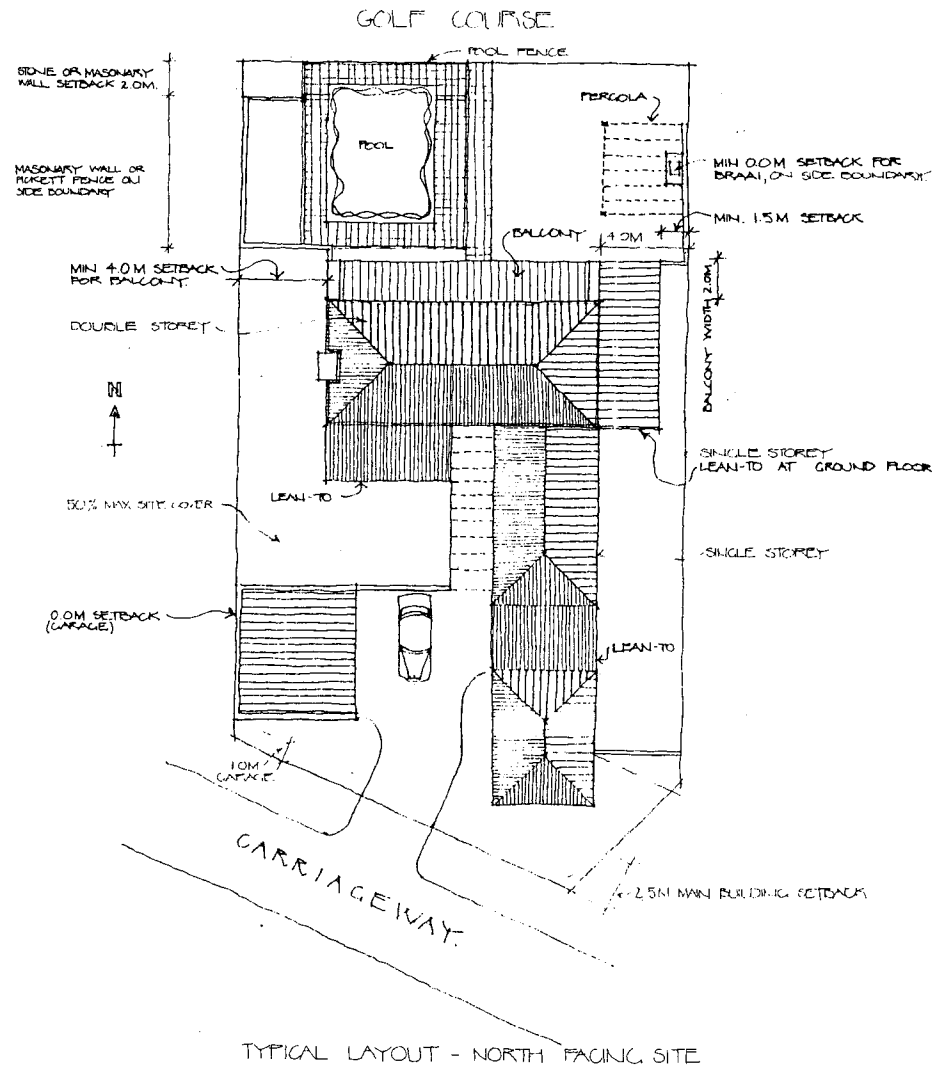


BUILDING ENVELOPE

2.1 General Guidelines

Only one dwelling will be permitted per site. An 'outbuilding' no larger than 6% of the erf's area will be allowed. (Refer to No. 19. Outbuildings). The maximum coverage will be 50%. The minimum area of the house will be 100m², including the area of the garage and verandahs. The garage may be detached from the main building. (Refer to sketch 2).

Note: 'Coverage' refers to the footprint of building. Pergolas are excluded. Verandahs, garages and outbuildings are included.



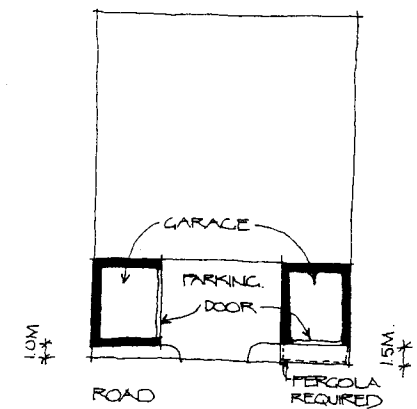
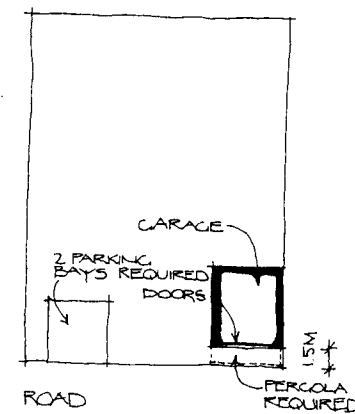
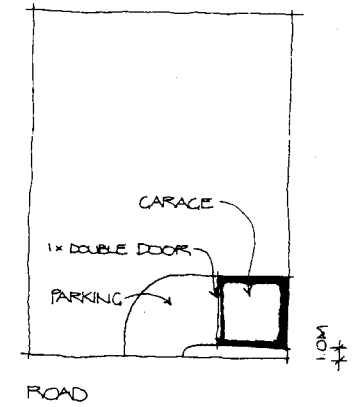
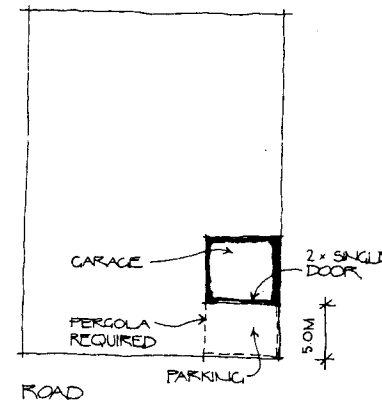
SKETCH 1



2.2 Building Lines

2.2.1 Street Boundary

- (i) 2.5m for the main building (Refer to sketch 1).
- (ii) 1.0m for garages facing away from the street. (Refer to sketch 2)
- (iii) 1.5m minimum for garages facing the street. (Refer to sketch 2)
- (iv) 2.0m for a swimming pool.

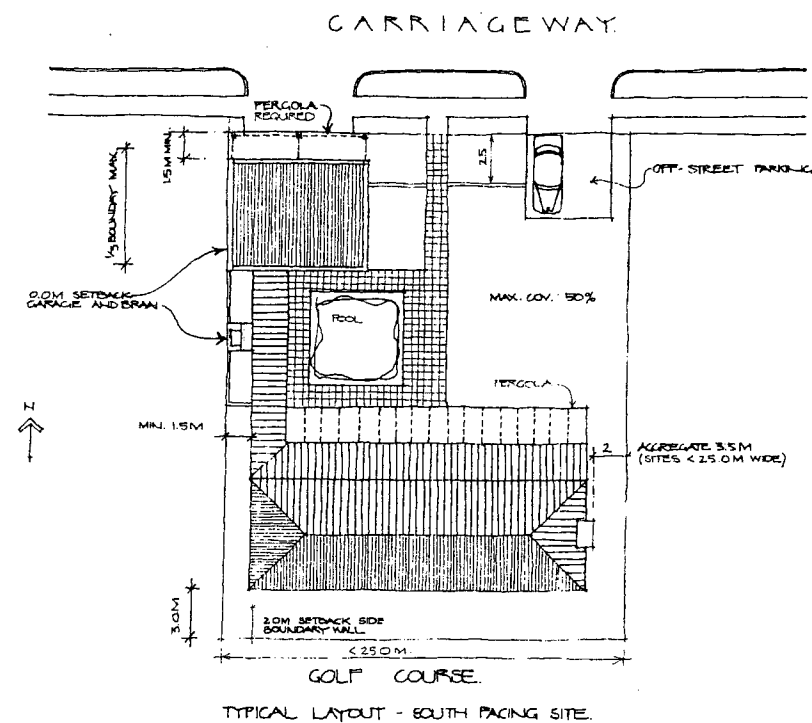


SKETCH 2



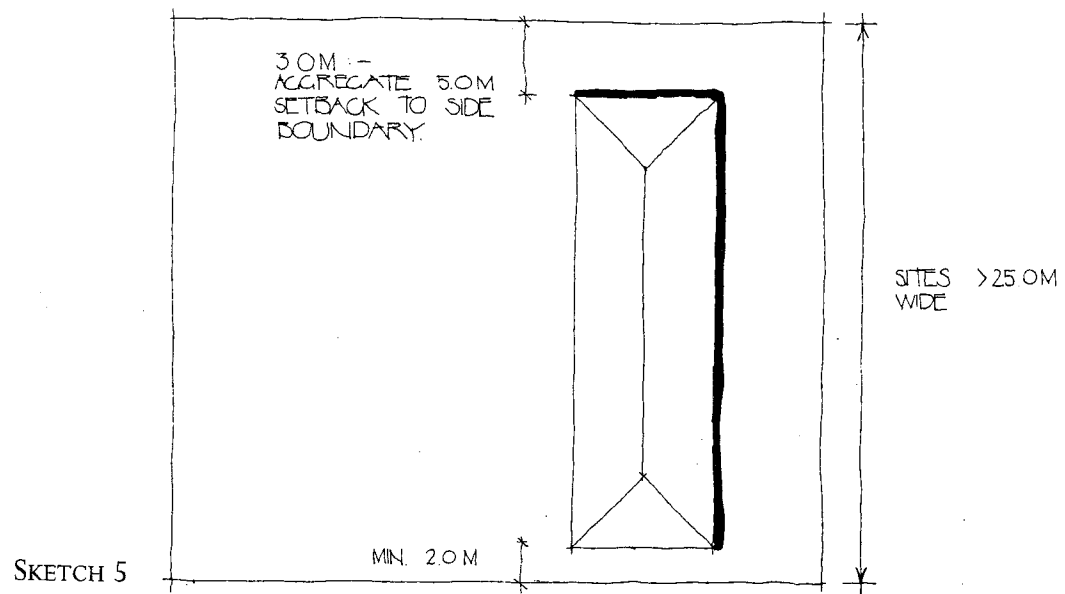
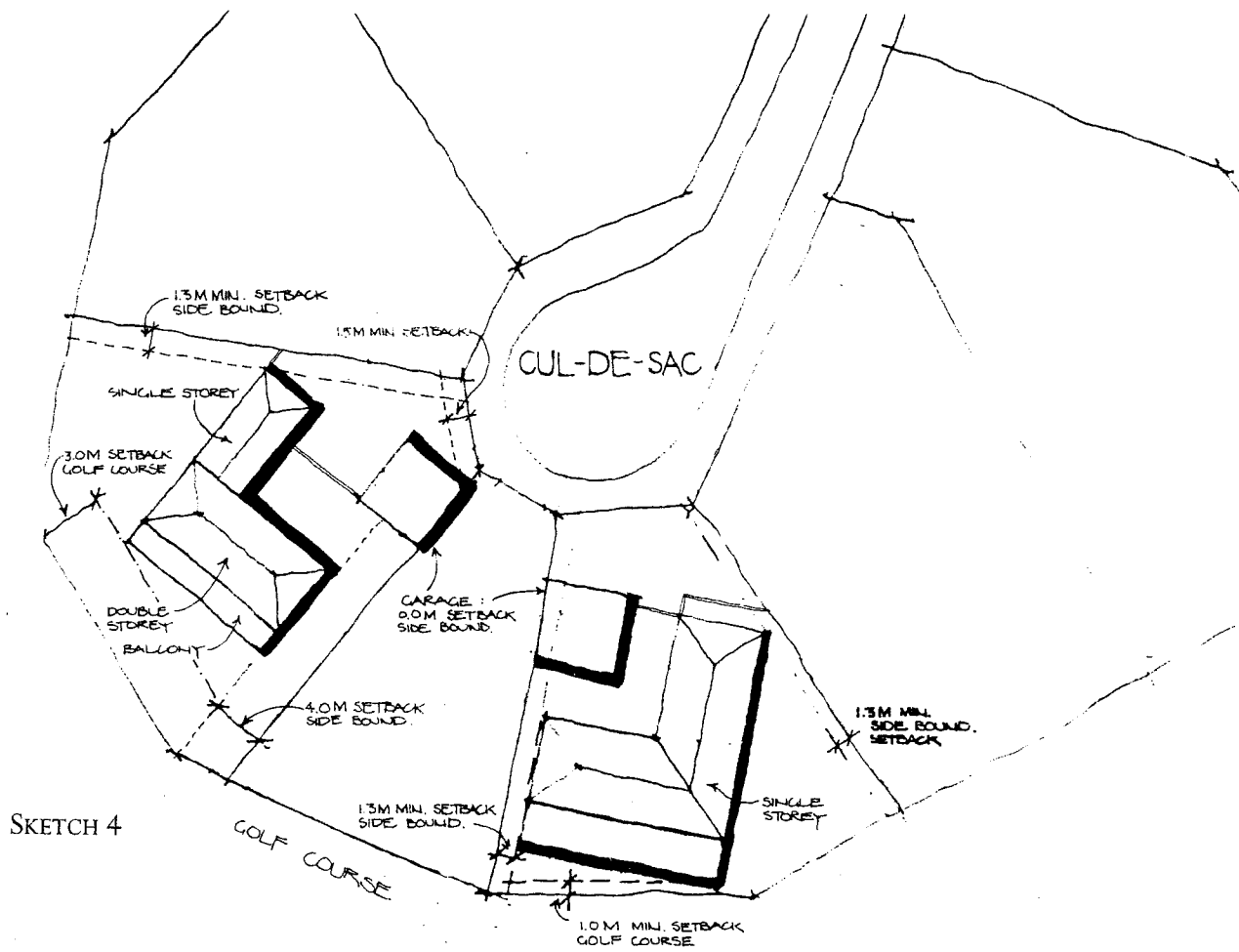
2.2.2 Side Boundary / Common Boundary

- (i) Sites 25m wide and/or less than 25m wide:
3.5m aggregate with a minimum of 1.5m to one side for the Main building.
(Refer to Sketch 3).
- (ii) Sites greater than 25m wide:
5.0m aggregate with a minimum of 2.0m to one side for the Main building.
(Refer to sketch 5).
- (iii) 1.3m on splayed or angled boundaries where cul-de-sacs occur. (Refer to sketch 4).
- (iv) 0.0m for garages up to $\frac{1}{3}$ of the length of one side boundary. (Refer to sketches 1 and 3).
- (v) 0.0m for a braai, which forms part of a side boundary, fence. (Refer to sketches 1 and 3).
- (vi) 1.0m for a swimming pool. (Refer to sketch 1).
- (vii) 0.0m for a pergola on the side boundary. (No longer than $\frac{1}{3}$ the length of the affected boundary).



SKETCH 3

TYPICAL LAYOUT - SOUTH FACING SITE.



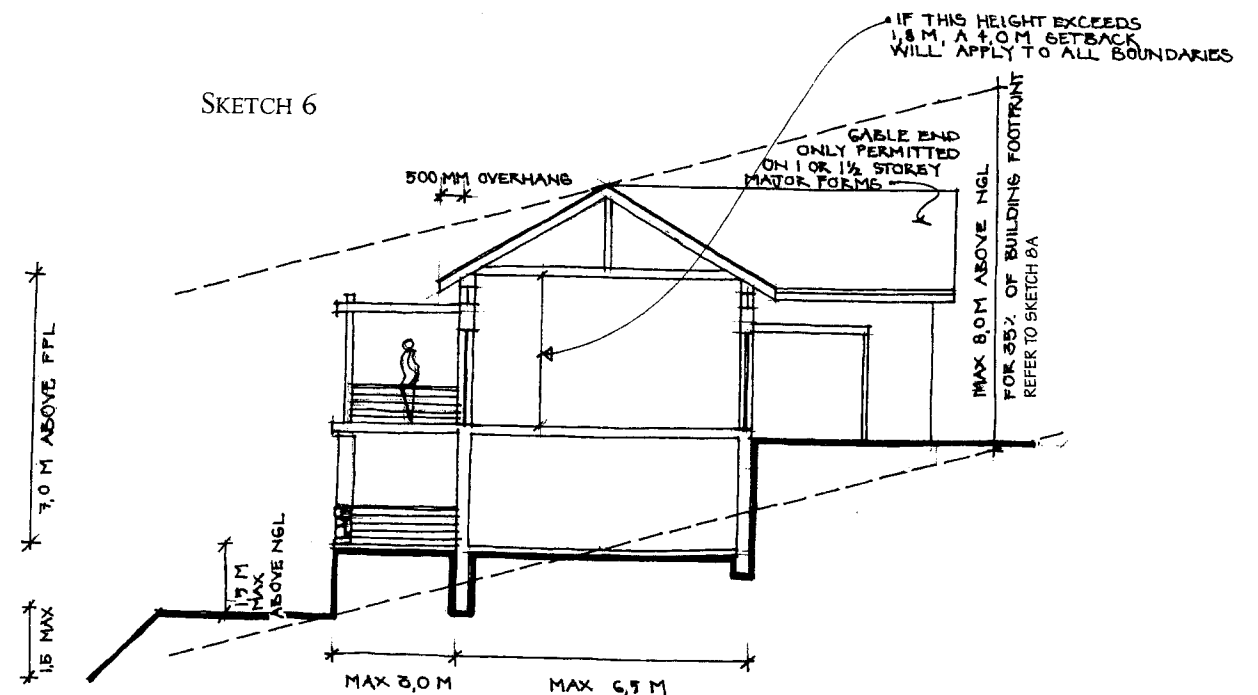


A 4m setback will apply:-

- (viii) Where the first floor height exceeds 1.8m. This height is measured from the first floor finished floor level to wall plate, level vertically above it. (Refer to sketch 6).
- (ix) Where a first floor balcony occurs. See Section 13 - Balconies (Refer to sketch 1).

2.2.3 Golf Course / Open Space

- (i) 3.0m for main buildings, including verandahs. (Refer to sketch 3).
- (ii) 1.0m for main buildings on sites with angled boundaries where Cul-de-sacs occur. (Refer to sketch 4).
- (iii) 3.0m for balcony. (Refer to sketch 4).
- (iv) 1.0m for swimming pools.
- (v) 3.0m for braai. (Refer to sketch 1).
- (vi) 2.0m for pergolas. (Refer to sketch 1).
- (vii) 2.0m for side boundary fence/wall. (Refer to sketch 3).
- (viii) 0.0m setback for retaining wall on golf course / open space boundary. [Refer to Section 12]





2.2.4 Special Sites

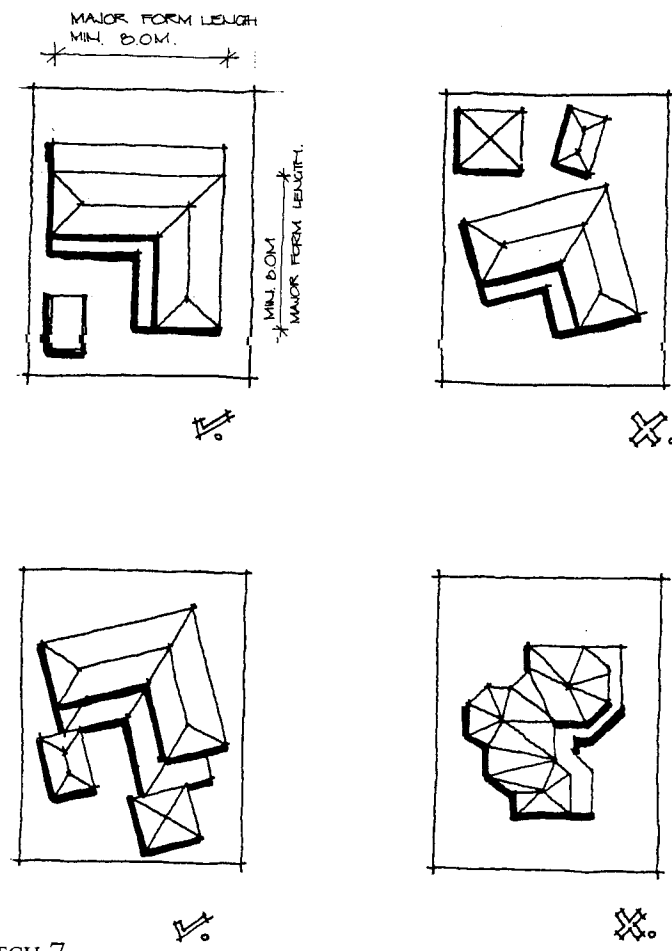
The Atlantic Beach Design Committee reserves the right to interpret this manual and approve plans at its discretion.

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BUILT FORM

3.1 Plan Shape

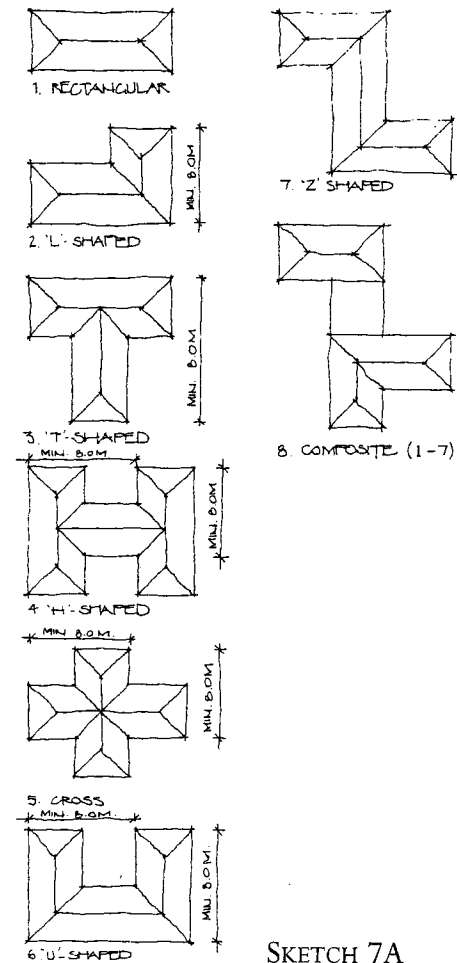
3.1.1 A built form of a singular rectangular form or composite rectangular forms is required. Rectangular forms may be offset at any angle relative to the boundary, but not offset relative to one another. (Refer to attached sketch 7).



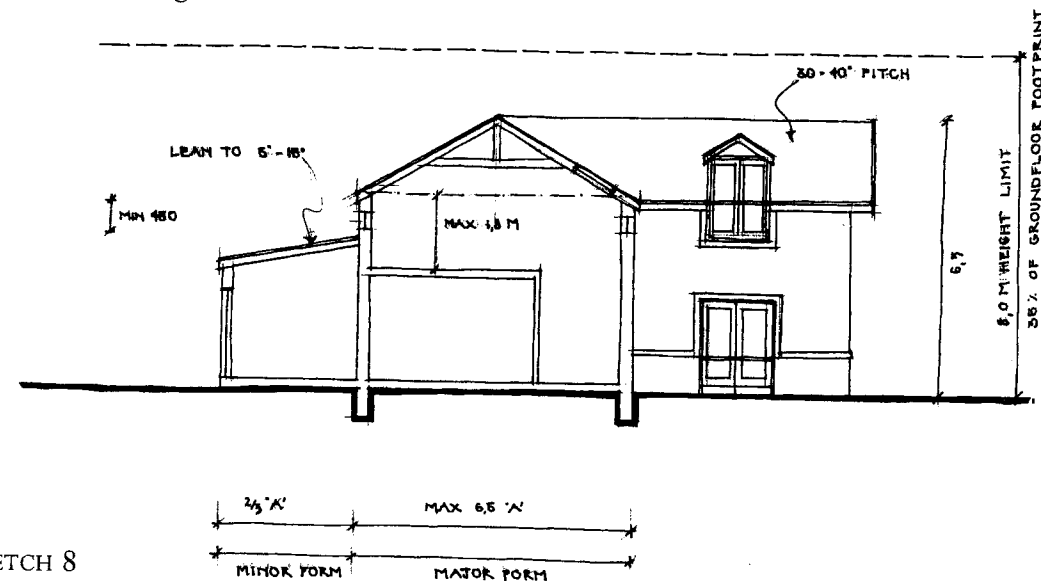


The following plan shapes will be permitted for the main form. (Refer to sketch 7A).

- 3.1.2 House forms are to be composed of major and minor plan elements with limited widths: -
- (i) Major forms with double-pitched roofs limited to 6.5m maximum width and 4.5m minimum width measured externally. (Refer to sketch 8).
 - (ii) Minor forms such as "lean-to's" and "afdakke" limited to two thirds maximum of the major form width. (Refer to sketch 8).
- 3.1.3 The major form length will not be less than 8.0m. (Refer to sketch 7).
- 3.1.4 There will be a requirement, that at least $\frac{2}{3}$'s of both the street elevation and the golf course / open space elevation respectively, be articulated with either a :-
- a) Lean-to; or
 - b) Verandah; or
 - c) Pergola



SKETCH 7A



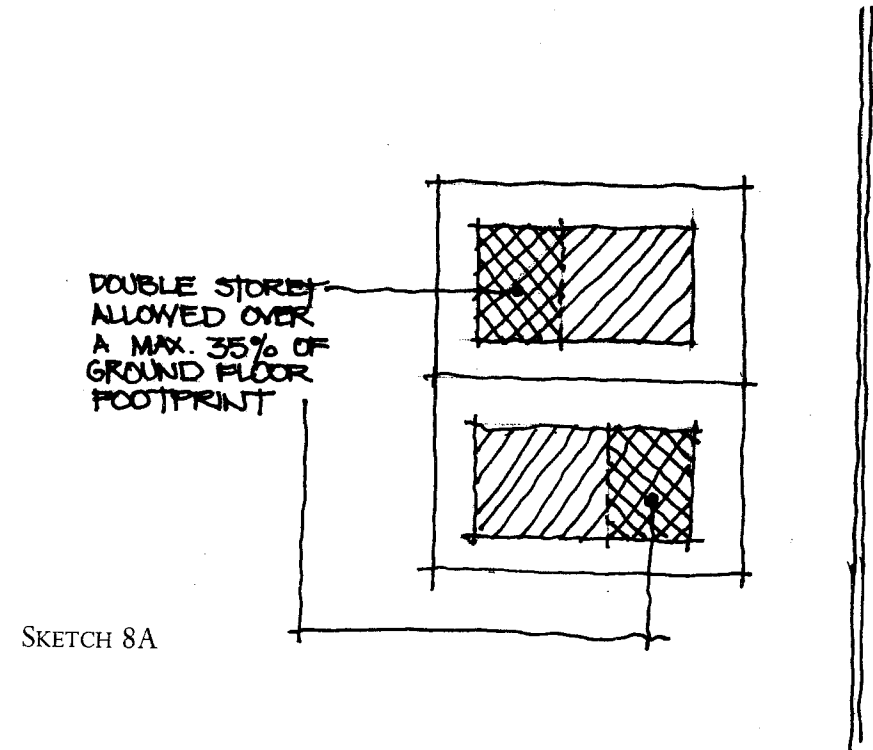
SKETCH 8



3.2 Height

- 3.2.1 Generally, first floor or a mezzanine level is encouraged to occur in the roof space of the house.

It is imperative that the building should fit comfortably into the natural contours and orientation of the site. (Refer to sketch 9). Houses must be stepped / terraced over the site.



SKETCH 8A

- 3.2.2 Chimneys are exempt from this restriction, refer to No. 6. "Chimneys". (Refer to sketches 8 and 9).

3.2.3 Wall Heights

It is proposed that generally across Phase 2 the maximum height limited be extended from, 6,5m to 8,0 meters above natural ground level for 35% of the footprint of the house. (Refers to sketch 8A). Maximum wall heights above finished ground level for this double storey will be 7,0 meters. In addition to this flat roofed elements may be used between double storey elements. They may extend to form double storey linking elements and be no higher than 6,0 meters above finished ground level.

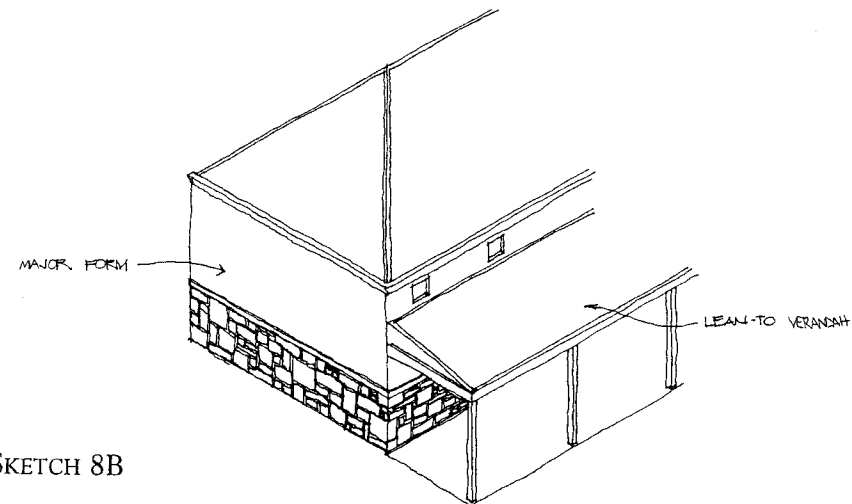
- 3.2.4 No portion of garage walls occurring on the erf will be higher than 3.5m above the point on the natural ground vertically below it.

Note: Special permission may be granted on steep sloping sites to allow garages to be a max. 4.5m above Natural Ground Level and setback 1.5m from the common boundary.



- 3.2.5 A lean-to may be used on a double storey, but not on the golf course/street elevation. This double storey lean-to must conform to Clause 2.2.2 (viii) and (ix), to Clause 4.1.2, and to Clause 13.1.5.
- 3.2.6 The ground floor finished floor level may not be raised higher than 1.5m above the natural ground level. (Refer to sketch 9).
- 3.2.7 **Note:** Natural ground levels are considered as those documented on the “as built” contour survey.
- 3.2.8 It is allowed to have a balcony on the short end of a major plan form and also to allow for this balcony to relate specifically to doors in that façade i.e. the balcony does not need to run full length across the façade the balcony is used on.
- If the floor to wall plate height exceeds 1,8m on the first floor then this floor will be deemed a second storey, if less than 1,8m it will be considered a mezzanine floor in the roof space.
- 3.2.9 If a double storey is built the major form must be accompanied by a balcony on the street or golf course facade and a lean to element along the common boundary facade. Refer to No. 13. “Balconies”.

No mezzanine will be allowed above the first floor (i.e. no 2¹/₂ storeys will be permitted)



SKETCH 8B



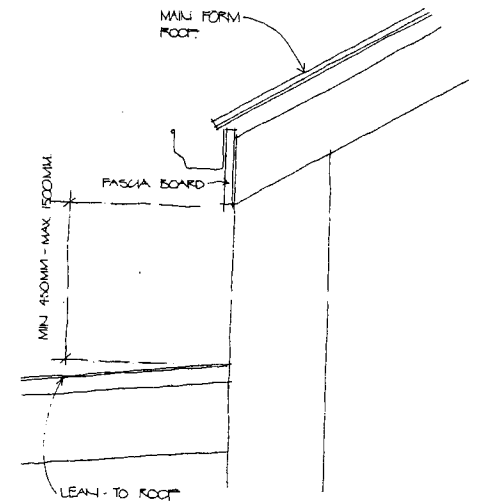
ROOF

4.1 Roof Pitches

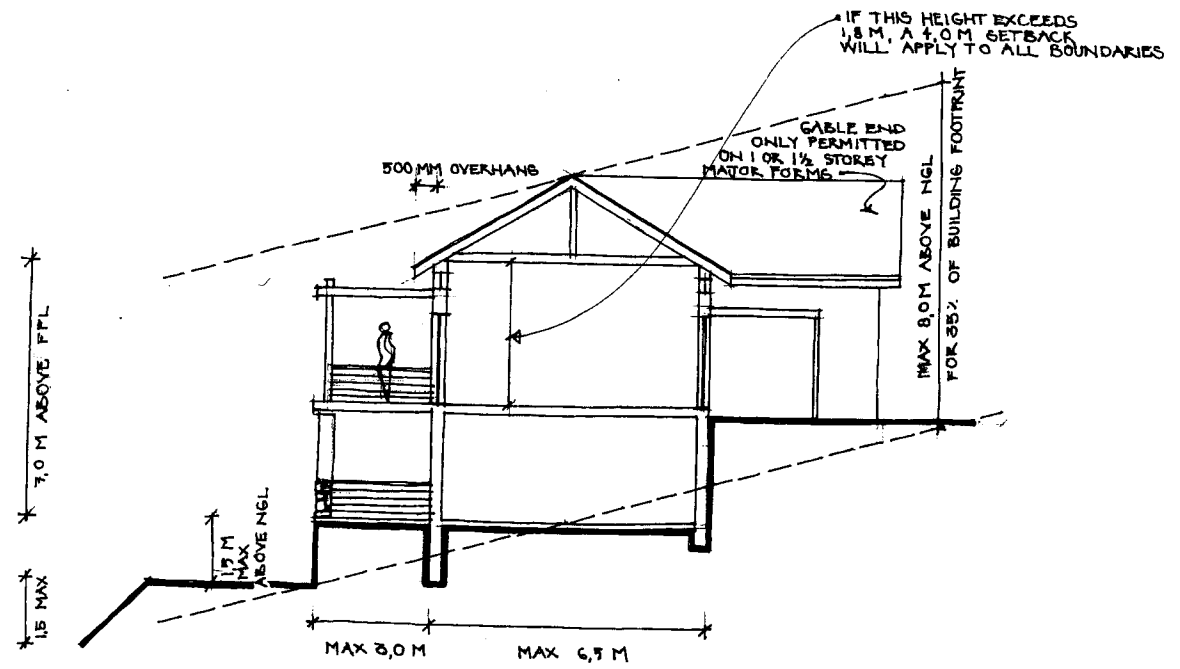
4.1.1 Roofs to Major Forms

It is encouraged that major plan forms are roofed individually and connected with a linking element i.e. a lean-to or a concrete flat roof (Refer to Item 4.1.2 & 4.1.3). (Refer to sketch 10A).

Only double pitched roofs at 30° to 40° and symmetrical about their ridges are permitted on major plan forms. (Refer to sketch 10).



SKETCH 9A

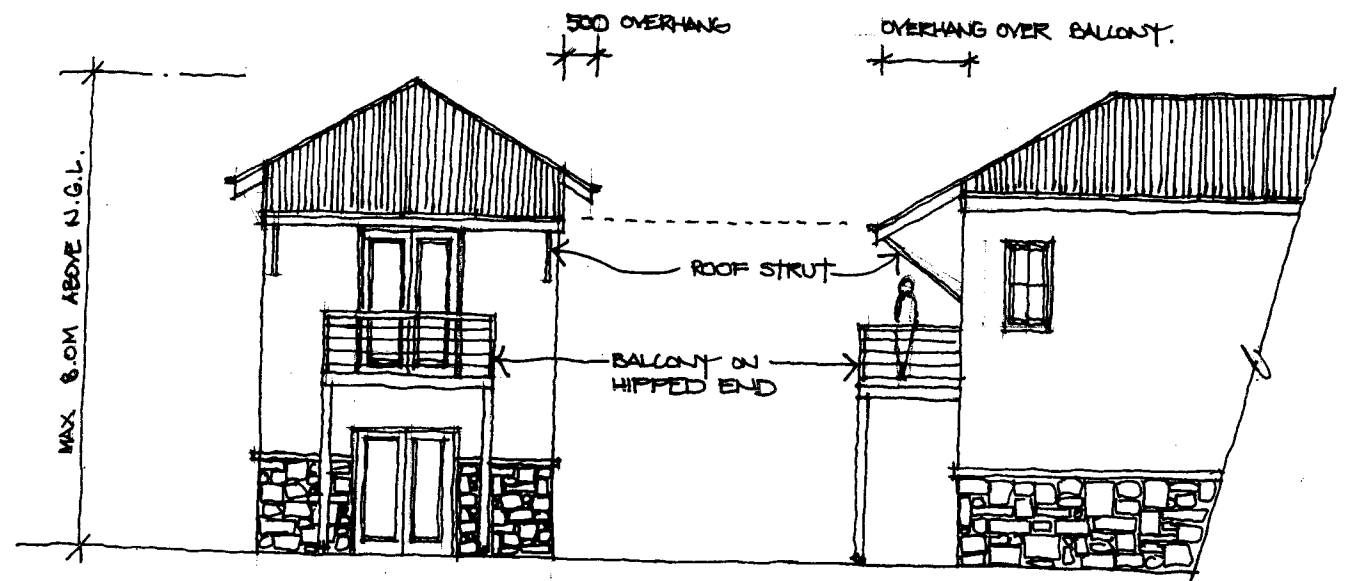


SKETCH 9

TYPICAL SECTION - SLOPING SITE.



Major plan roof elements may have eaves that extend 500mm beyond the external wall face or may have clipped eaves. Where used in conjunction with a balcony on a hipped or gabled end the main form roof may extend over the extend of the balcony. Note these roofs where extending over the balcony may need to be supported on struts tied back to the major plan forms wall. (Refer to sketch 9B)



SKETCH 9B

4.1.2 Lean-to Verandah Roofs

It is encouraged that lean-to and verandah roofs be connected to major plan forms, and where possible used to connect individual major forms. (Refer to sketch 10A).

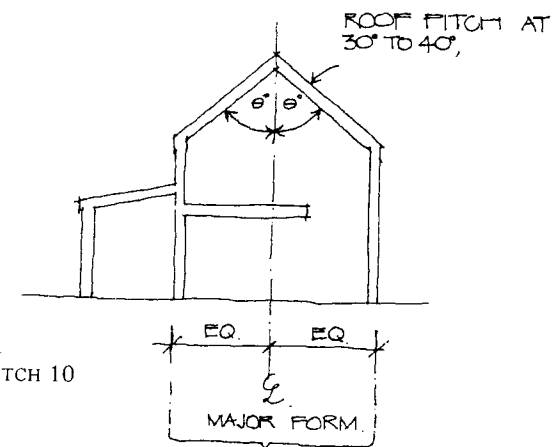
Lean-to and verandah roofs are to abut vertical walls of major forms, pitched straight at 5° to 15° . (Refer to sketches 8 and 9).

When a lean-to roof or verandah roof is used, there will be a minimum height of 450mm between the top of the lean-to roof and the underside of fascia for the main roof. (Refer to sketch 9A). There will be a maximum height of 1500mm between the top of the lean-to roof and the underside of fascia for the main roof of a single storey main form.



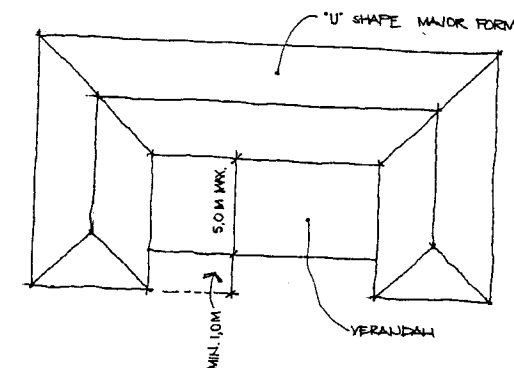
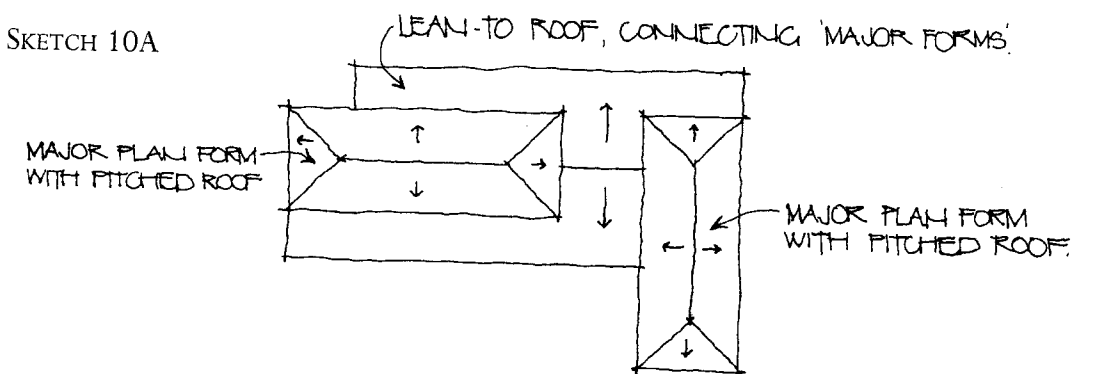
4.1.2.1 Where a lean-to roof is used as a connecting element between two major forms, and the ridge of the lean-to is bound by these major forms [refer to sketch 10A] this ridge may occur 100mm [minimum] below the fascia board of the major roof elements.

4.1.2.2 Where a verandah or lean-to roof is used on a "U" or "H" shape (Refer to sketch 10C) the verandah or lean-to may have a maximum width of 5m running between the "legs" of the major form provided there is a minimum of 1,0m from the edge of this verandah and the ends of the "legs" of the major form bounding it at either end.



SKETCH 10

SKETCH 10A



SKETCH 10C



4.1.3 Level Changes

On steeply sloping sites it might be necessary to use a composite of main forms in order to remain within the height restriction. To this end only a concealed flat roof could be used to link the major forms. The extent of flat roofs as linking elements will be restricted to the width of the main form and be contained, on two opposite sides at least by major forms and not project beyond the extent of the major form. (Refer to sketch 10B). It should be noted that the regular plan shapes must be adhered to. The extent of the concealed flat roof will be no greater than 20% of the total roofed area. Maximum width of concealed flat roof to be 6.5m (Refer to sketch 33).

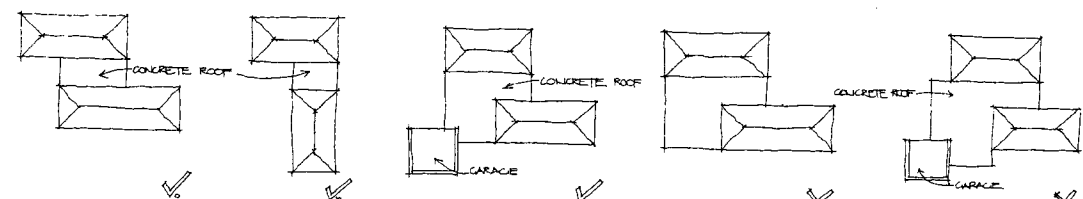
- 4.1.3.1 The lean-to element referred to in 4.1.2.1 may be utilised in lieu of a concealed flat roof.

4.1.4 Garage Roofs

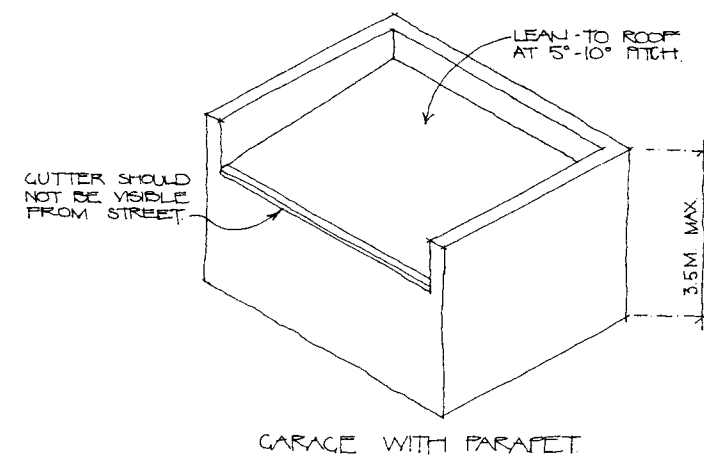
Roof to garages may form part of the main building's roof, where the garage lies within the major plan form. If a garage utilizes a pitched roof (30° - 40° pitch), it must conform to the same building lines, and plan shape requirements as the main house.

Garages may have mono-pitched roofs at 5° to 10° and contained within parapet walls. The gutter should not be visible from the street. (Refer to sketch 11).

Garage roofs may be concrete or small profile Victorian sheeting. Roofs with less than 5° pitch to have parapet on all four walls.



SKETCH 10B



SKETCH 11



4.2 Materials and Colour

4.2.1 Roof coverings to be:-

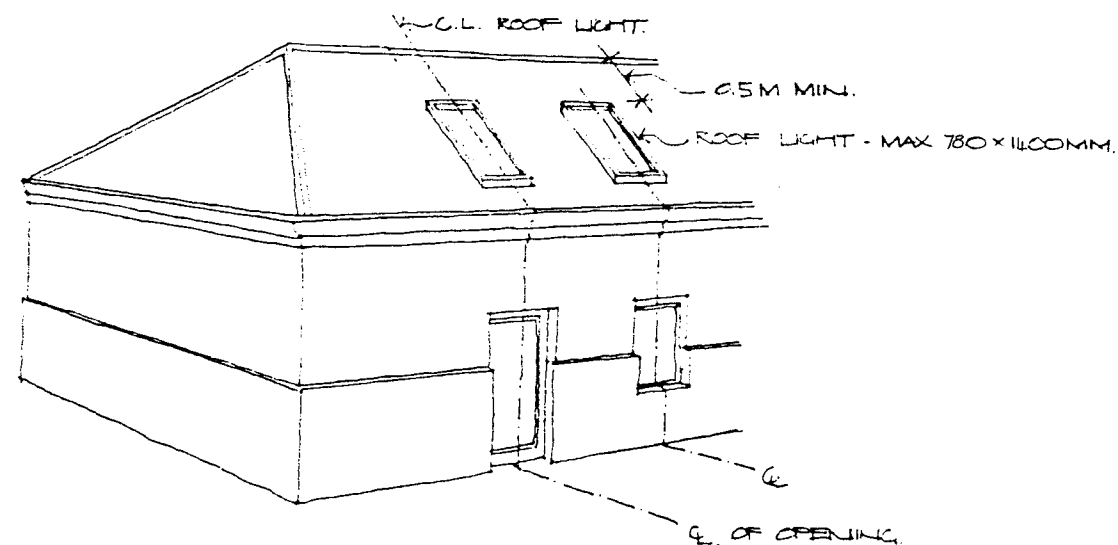
- (i) Painted small profile galvanized corrugated iron sheeting,
- (ii) Iscor Chromadek Prepainted corrugated steel - "Dolphin Grey" (or similar approved by "Atlantic Beach Design Review Committee").
- (iii) Natural slate tiles - Mazista Tiles "Silver Blue" or similar approved.
- (iv) Small profile Hulets S-13 aluminium pre-painted roof sheets - colour "Charcoal Grey".

Note: Unpainted steel roofs or other reflective surfaces are not allowed.

4.2.2 A continuous glazed panel system or clear polycarbonate sheeting may be used over verandahs. It may not project more than 1.0m from the major wall form. (Refer to sketch 14 - Verandah and Lean To).

Note: Roof lights used in a verandah or lean-to element must lie in the same plane as the roof sheets.

4.2.3 Thatched roofs will not be allowed.



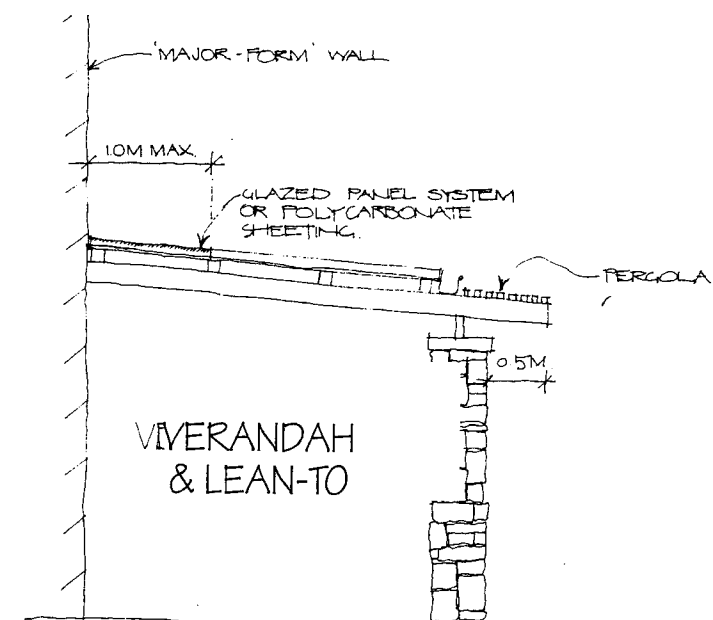
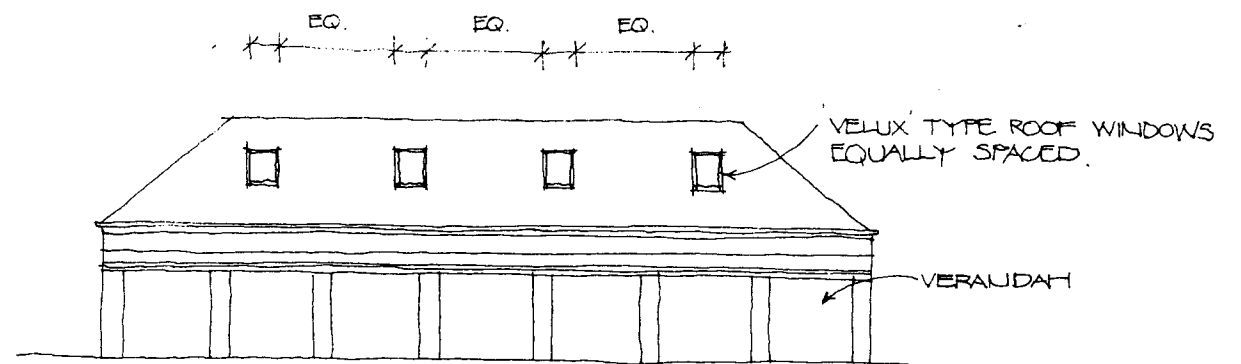
SKETCH 12



4.3 Roof Lights / Roof Windows

Roof lights and roof windows are to be set into the plane of the roof. These are to be of a maximum size - 780mm x 1400mm ("Velux" or similar approved) installed in a vertical proportion. Where no verandah is used the roof lights must be centered vertically in line with window and door openings in the walls below the roof. Roof windows must be the same size where used in the same plane of the roof. Where verandahs are used, rooflights must be spaced equally. (Refer to No. 8 "Windows" for finishes and colours). (Refer to sketches 12 and 13).

4.3.1 Where a roof light is positioned laterally within 1m, of a highlight window above a verandah, the roof light must be centred on the highlight window.



SKETCH 14



4.4 Dormer Windows/Doors

4.4.1 Dormer windows/doors may be used in the roofs over major plan forms (refer to 4.1).

Dormer Windows will be allowed not only in the hipped ends of a major plan form roof but also may be used in the long side of a façade. Dormer Windows still must address either the street or golf course. A Dormer window should have a relationship to the door below the dormer window or series of doors below the dormer window, i.e. be centred on an opening below it. (Refer to sketch 16B).

On condition that the main building is built parallel to the street boundary or golf course. (Refer to sketch 16 and 16A).

The dormer window/doors is to be centered on the apex of the hip, when used on hipped ends and will not project past the vertical face of the wall into which it is set. (Refer to sketch 17).

4.4.2 Only one prescribed dormer type will be accepted. (Refer to sketch 16B).

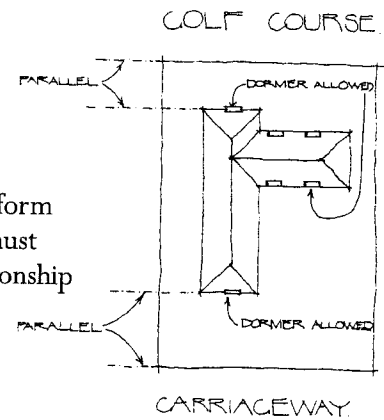
Dormer windows/doors may be vertical sliding sash or bi-parting side-hung casement.

The maximum dimensions for dormer windows are: -

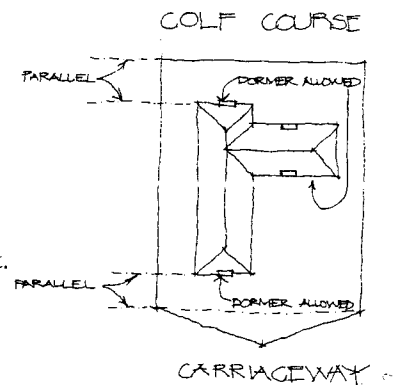
Width - 1.5m

Height - 2.1m.

The sides of wall or "cheek" to match roof sheeting. Where slate roofs are used "cheeks" of dormer to be painted shiplapped boarding - colour PLASCON - "Gunpowder".

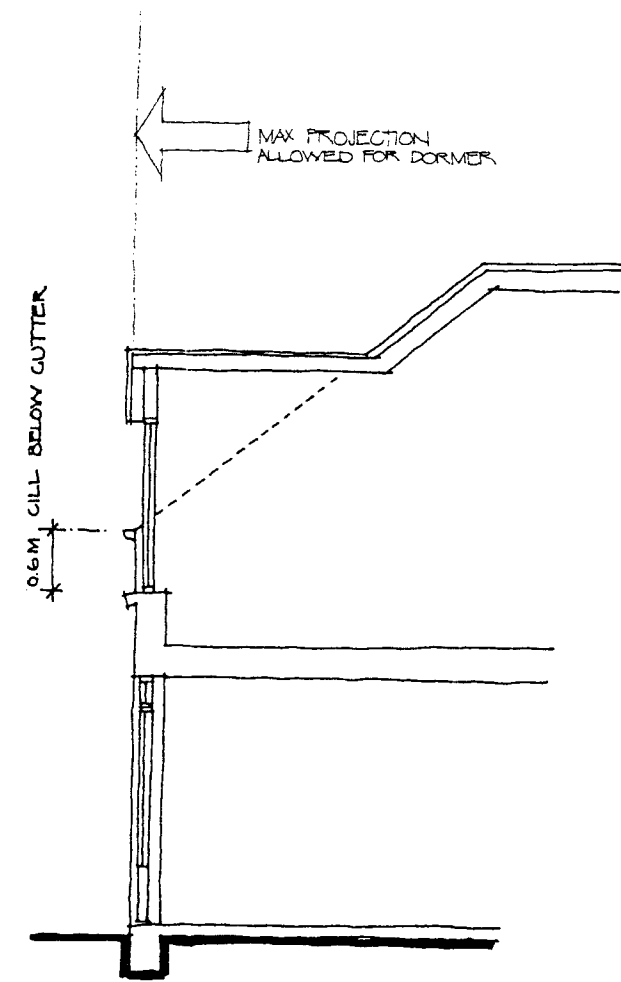


SKETCH 16



SKETCH 16B





SKETCH 17

SECTION AT DORMER

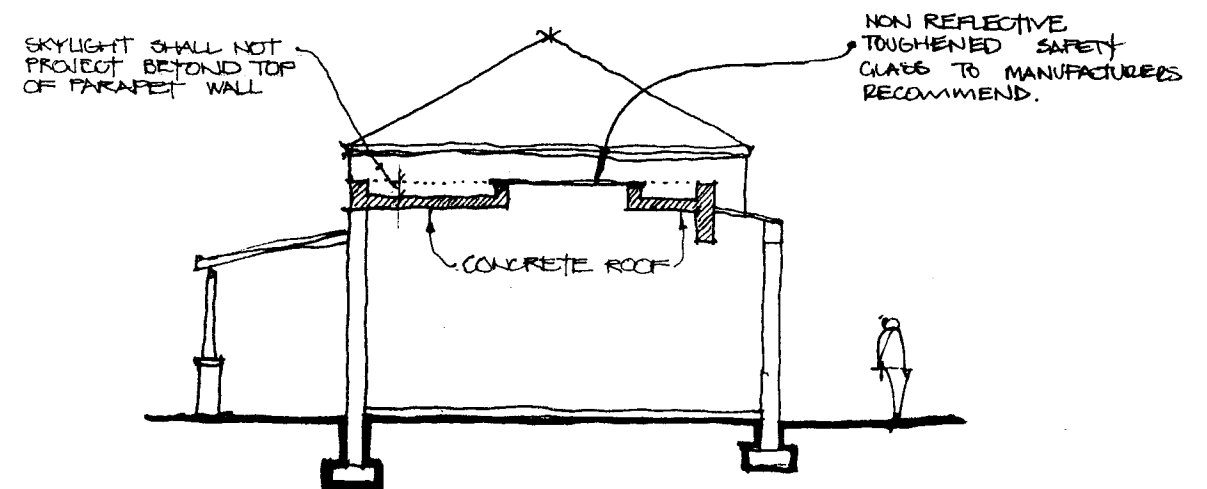
- 4.4.2.1 The gable end of a dormer window will be glazed.
- 4.4.2.2 Dormer to have 175 x 22 bargeboard to gable end, painted PLASCON "Gunpowder"
- 4.4.2.3 Dormer windows may in fact be 2.1 high doors to form a Juliet balcony - note that balustrading must not project beyond the window / door reveal by more than 300mm
- 4.4.3 Dormer window colours and finishes to match windows of house. (Refer to No. 8 "Windows").



4.5 Skylights in Concrete Flat Roofs

4.5.1 Where a concrete flat roof element is used as prescribed in Section 4.1.3, a glazed roof light will be permitted to be used. Such roof lights will adhere to the following requirements.

- (a) The upper most projection of the roof light will not protrude higher than either parapet wall bounding the concrete roof (Refer to Sketch 17A).
- (b) Glass must be fully non-reflective, and comply to National Building regulations
- (c) No Pyramidal Type skylights will be permitted only flat skylights with a maximum pitch of 5° will be permitted.



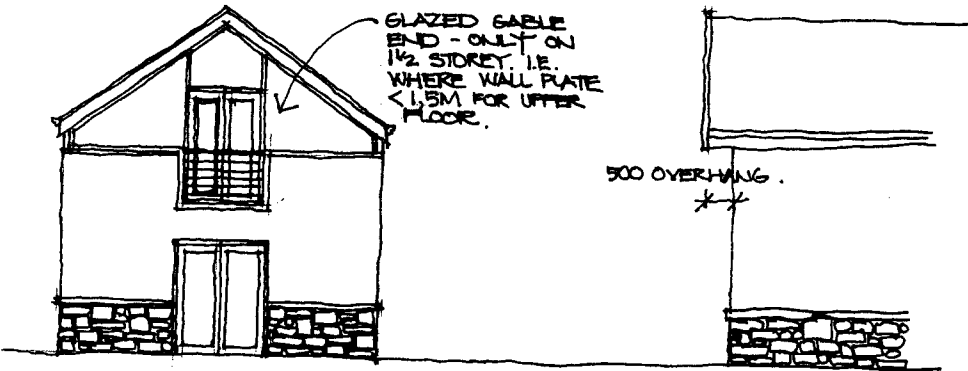
SKETCH 17A



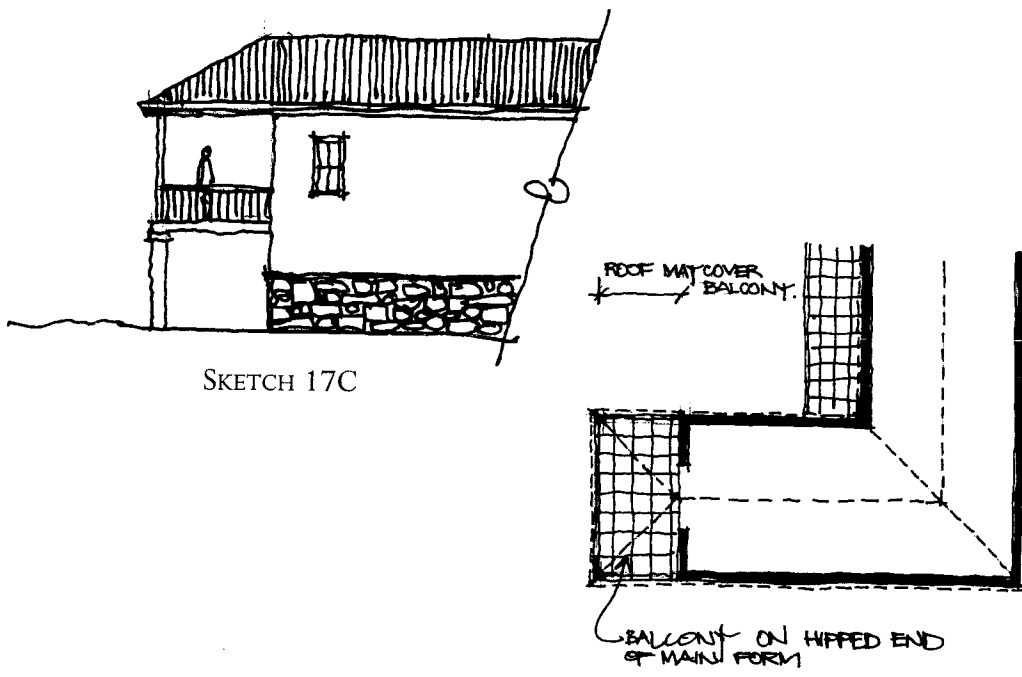
5 GABLES, JAYS, PARAPETS AND CHIMNEYS

5.1 Where previously only hipped ends were allowed on roofs for major plan form elements, Phase 2 will allow gable ends to major plan form elements. These will only be permitted on 1½ storey main forms and not on fully double story main forms. Gable ends may be fully glazed (Sketch 17B). Gablet type roof/windows may also be utilised i.e. a part gable end to a hipped roof which intern may also be fully glazed. (Refer to sketch 17D). Note when a gabled end is used no parapet wall may be used in conjunction with the gable end. The roof must overhang the gable end by 500mm. (Refer to sketch 17B)

Note: Minimum fascia width will be 12mm.



SKETCH 17B

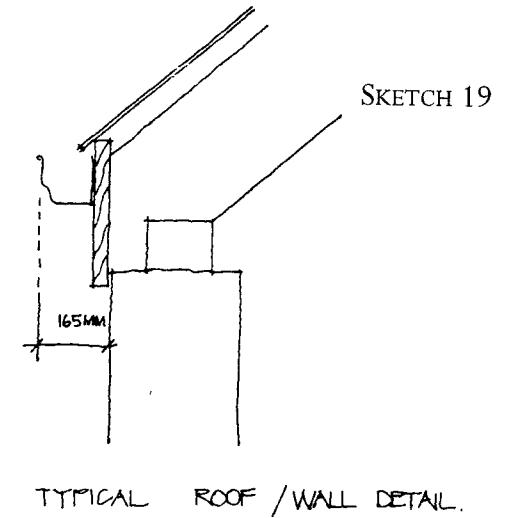


SKETCH 17C

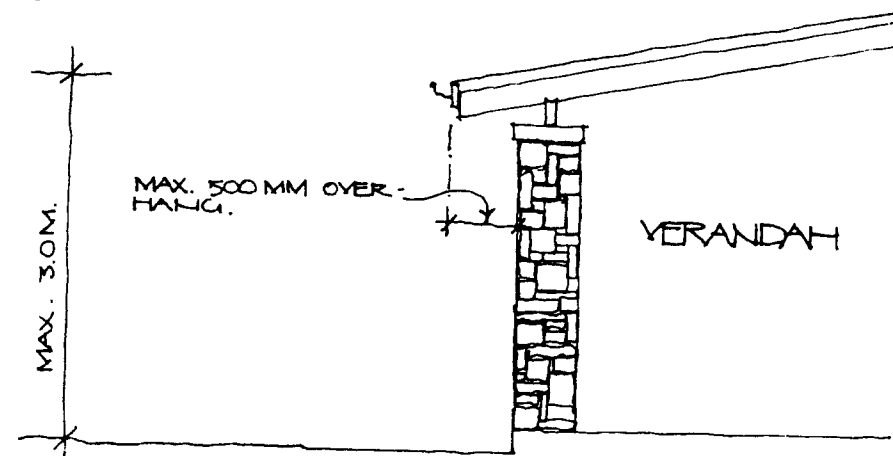


- 5.3 Verandah eaves may project a maximum of 500mm beyond column or post. (Refer to sketch 18).
- 5.4 All gutters shall be pre-painted, pre-formed galvanized steel, zincalume steel or aluminium with 75mm diameter paint pvc or pre-painted aluminium downpipes or 75 x 50mm rectangular aluminium downpipes to match gutter colour. Gutter profiles will be either:-
- (i) O.G. Gutter, or
 - (ii) "D" Type.
- 5.5 Fascia boards will be painted either:-

1. "Plascon" - "Gun Powder" E28-6, or
2. "Plascon" - "Dark Forrest Herb" VLO-74
3. "Plascon" - "Night Life" D26-6



SKETCH 18





6 CHIMNEYS

- 6.1 Chimneys are restricted to 3 prescribed prototype options A, B and C. (Refer to sketch 21).

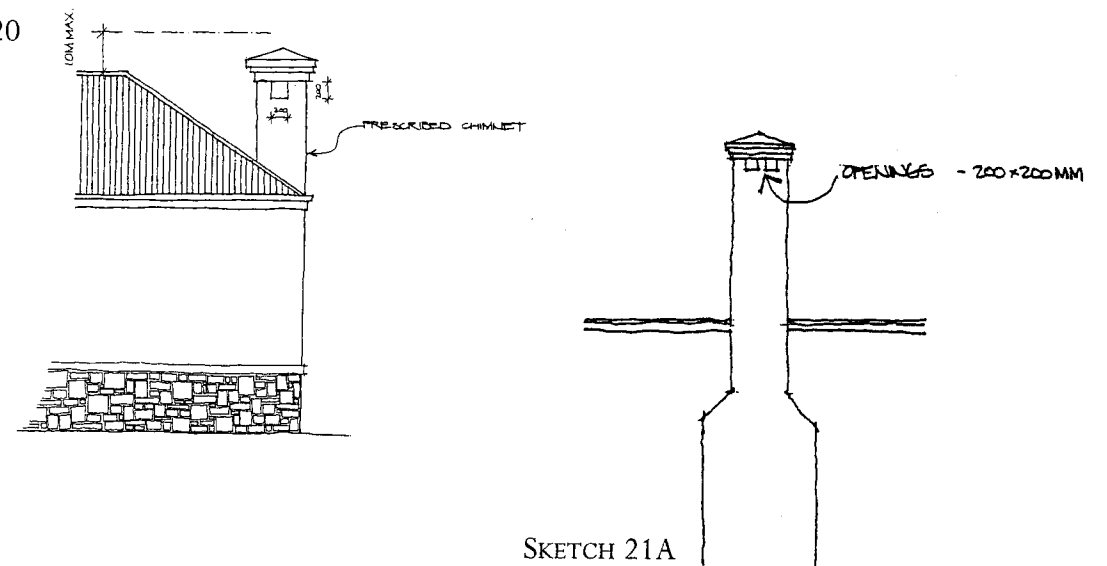
Chimneystacks may not project more than 1.0m above the ridgeline of the roof. (Refer to sketch 20).

- 6.2 Internal jetmaster - type flues must have a masonry surround to match prescribed chimney types.

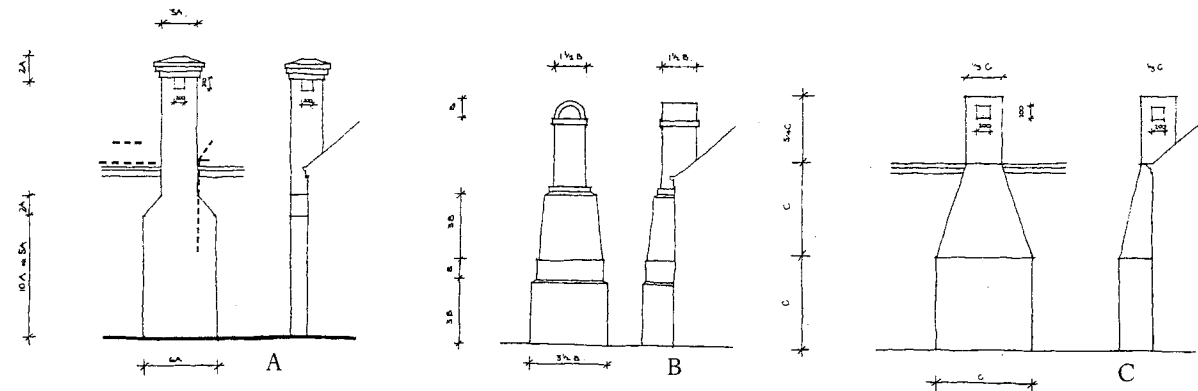
6.3 Double Fire Places

Where 2 fire places use one chimney, a double opening [200 x 200] may be used with a 230mm spacing [Refer to sketch 21A]

SKETCH 20



SKETCH 21





7 WALL MATERIALS AND FINISHES

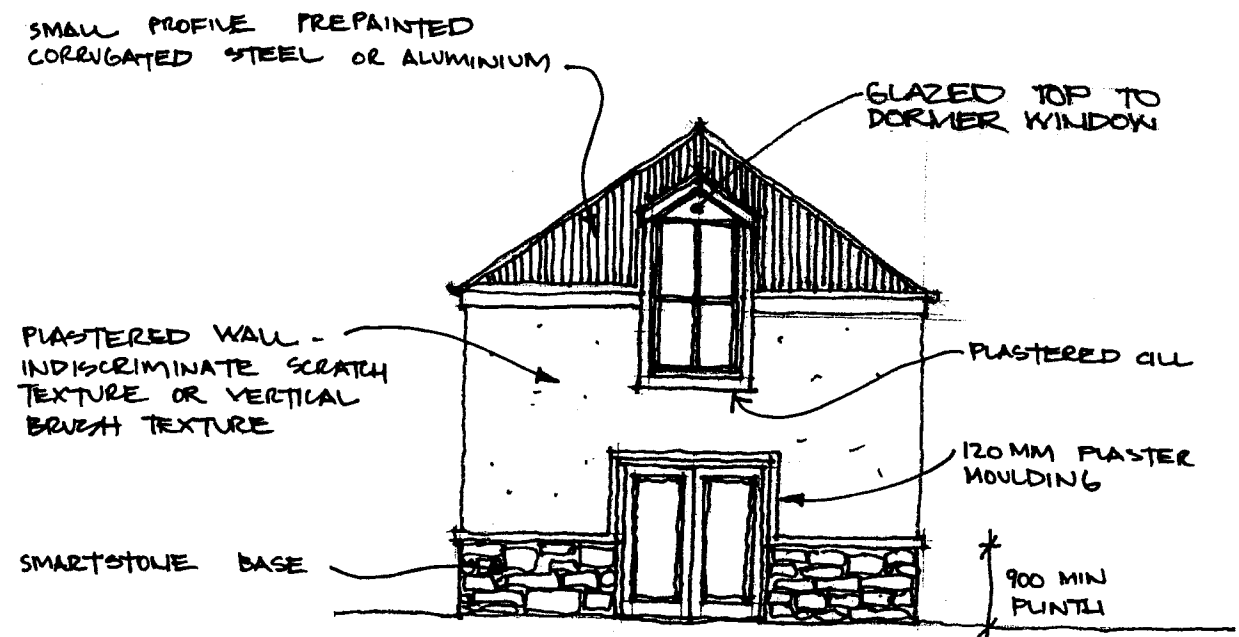
7.1 Wall Construction

All external walls to be at least 280mm cavity wall construction.

7.2 Wall Finishes

7.2.1 Externally all walls must have a "Smartstone" or equal approved stone cladding plinth or base, minimum 900mm high and maximum 1800mm high. Above this plinth a plastered finish is required. (Refer to sketch 22). Only Smartstone Wynberg walling or equal approved stone cladding, will be permitted. No face brickwork will be permitted. No mouldings, quoining or rustication will be permitted except for a simple 120mm high plaster moulding above a plinth or around an opening. (Refer to sketch 23).

SKETCH 22





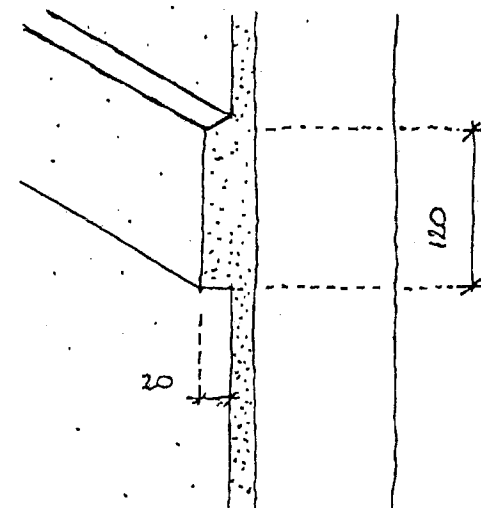
7.2.2 Specific Materials and Finishes

- Stone Plinth - "Smartstone", "Revelstone" or "Stone Age"
Plaster Finish - Vertical brush texture or indiscriminate scratch texture.

7.2.3 In Phase 2 ship-lapped timber boarding or ship-lapped Everite fibre cement boarding may be used to clad not only single storey lean-to elements but may be used on a main form above the Smartstone plinth. The timber ship-lap colour is to match the plaster colour of the main house. Note combinations of ship-lapped boarding and plaster walls will be encouraged.

7.2.4 PLASCON - "Expressions Range"

- | | |
|---------------------|----------|
| 1. SCALLOPED POTATO | : C15 -2 |
| 2. BLONDE WOOD | : C14 -3 |
| 3. WHEAT GERM | : C14 -4 |
| 4. PAPYRUS | : E14 -3 |
| 5. PICASSO | : E18 -3 |
| 6. SANDY STREAM | : E19 -4 |
| 7. MAYAN STONE | : E14 -4 |
| 8. TRADE WINDS | : D13 -5 |
| 9. P.B. COOKIE | : C13 -6 |



SKETCH 23

120 MM PLASTER MOULDING.



8. WINDOWS

8.1 Window Types

- 8.1.1 Windows sharing the same proportion ratio will be used per house. Square or vertical proportion windows will be used.
- 8.1.2 Windows will form individual openings with a minimum pier width of 340mm when paired. Using windows in series behind verandahs or pergolas may form larger openings.
- 8.1.3 Windows must be side-hung casements or vertical sliding type.
Cottage pane type windows will be allowed.
No bay windows will be allowed.
No external burglar bars will be allowed.
No square window larger than 1.5 x 1.5m will be permitted, for double storey.
Top hung casement opening mock sash windows will be allowed.
- 8.1.4 Windows between verandah roofs and main roofs are mandatory. These will be either 300 x 300mm or 450 x 450mm or 600 x 600mm. (Refer to sketch 25).
Where such "high light" windows are used, and no verandah or lean-to occurs, high light windows must align with openings below. These windows if opening may be top-hung casement opening windows. (Refer sketch 25A). Only one size of highlight window may be used per main form.
Windows specified in this clause, may be used on the ground floors.
Where no verandahs are used, highlight windows may be paired with a 340mm pier.
This may then be centralised over a door or window.
"Clear glass blocks may be used in lieu of a 300 x 300mm window when used as a highlighted window.
- 8.1.5 No timber profile may be less than 45 x 65mm.
- 8.1.6 No "WINBLOCK TYPE" concrete window frames will be permitted.



SKETCH 24



8.2 Window Finishes

8.2.1 Windows should be made of either:

- timber - natural (no stained finishes, must be clear natural),
or painted;
- aluminium - powder coated.

Colours for painted timber windows:

'Plascon' - "Gun Powder" - E28-6

'Plascon' - "Dark Forrest Herb" - VLO 74

'Plascon' - "Nightlife" - D26-6

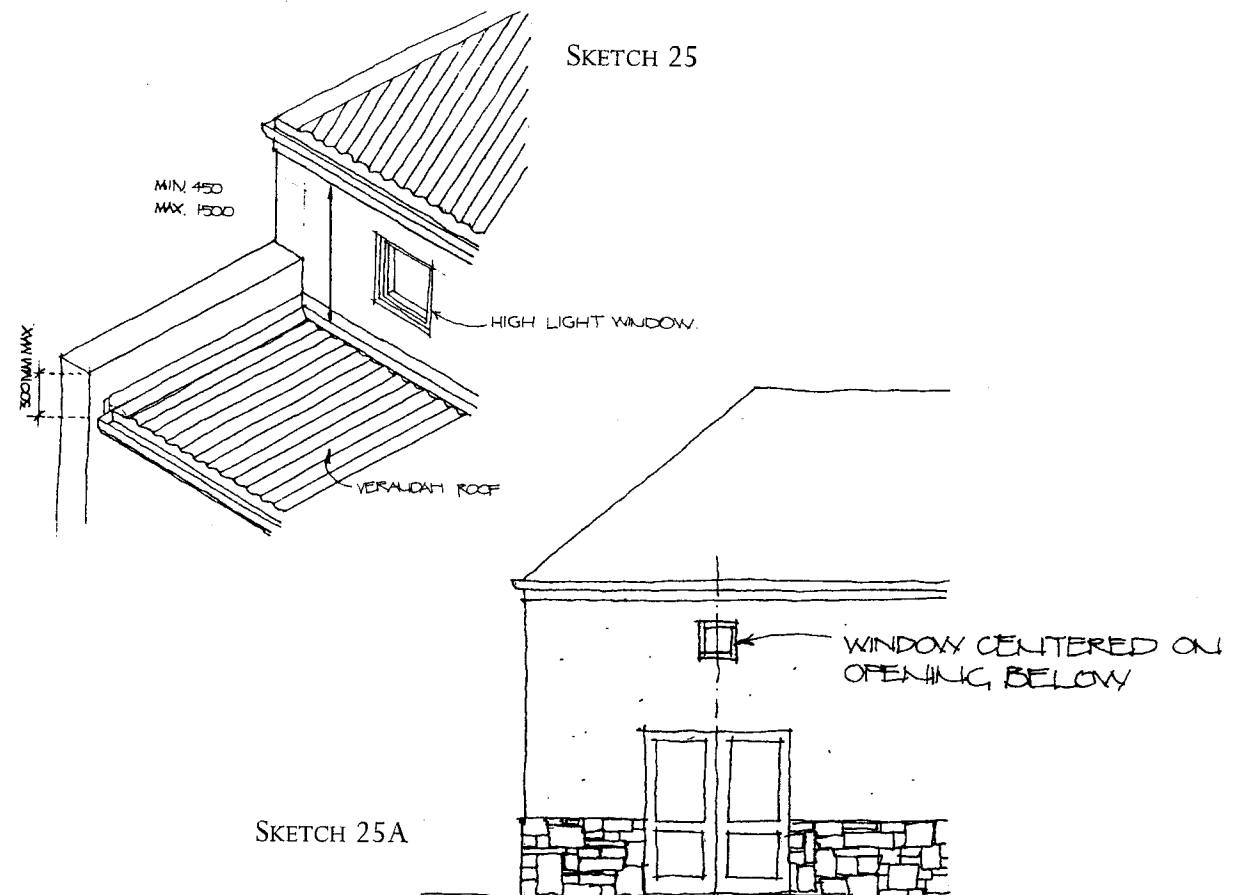
Colours for pre painted aluminium windows: Vedoc VP 7107 - "Charcoal" - VP7107

Vedoc VP5101 - "Teal Blue" - VP5101

Courtaulds CP0 2006 - "Garden Green"

Glass standards to conform to the National Building Regulations. No "mirror" glass will be allowed.

Note: Only one window colour will be allowed per house.





9.1.3 Solid external doors will be double panelled timber; vertical boarding or horizontal herringbone panel. No ornate carved timber doors will be permitted.

9.1.4 No "Trellidoor" or other expanding metal security doors will be allowed externally.

9.1.5 Framelss glass doors will be allowed, however they must comply with clause 9.1.1.

9.1.6 Front doors exposed to the street, side boundaries or golf course boundaries will only be:-

1. Double Panelled timber.
2. Vertical panelled boarding.
3. Double or single panelled glazed. (Refer to sketch 26).

9.2 Door Finishes

9.2.1 Doors should be made of
timber, natural or painted;
or aluminium - powder coated.

Colours to be the same as for windows and to match per house. (Refer No. 8.2 "Windows - Finishes").



9.3 Garage Doors

- 9.3.1 The maximum number of garage doors facing the street will be: -
2 single garage doors separated by masonry piers.
Double garage doors will not be allowed to face the street.

If more than 2 garage doors are required facing the street, these must be accommodated in separate buildings, thus a maximum of 4 single doors may face the street. If 3 garage doors face the street, the third door must be set back another 1.0m from the first two doors relative to the street and should have a lean-to roof.

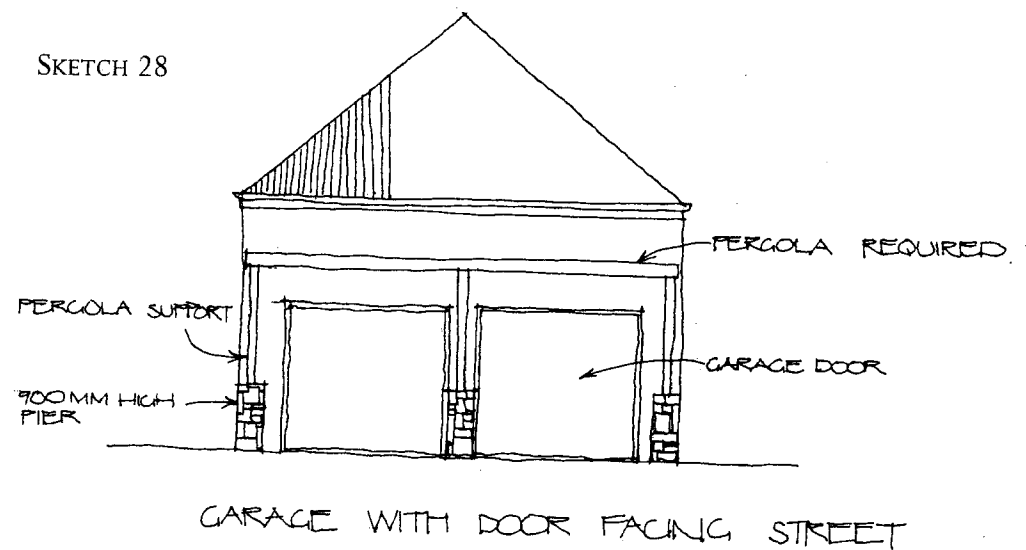
- 9.3.2 Garage doors may be single in 2440mm openings or double 4480 maximum opening (Refer to sketch 29).

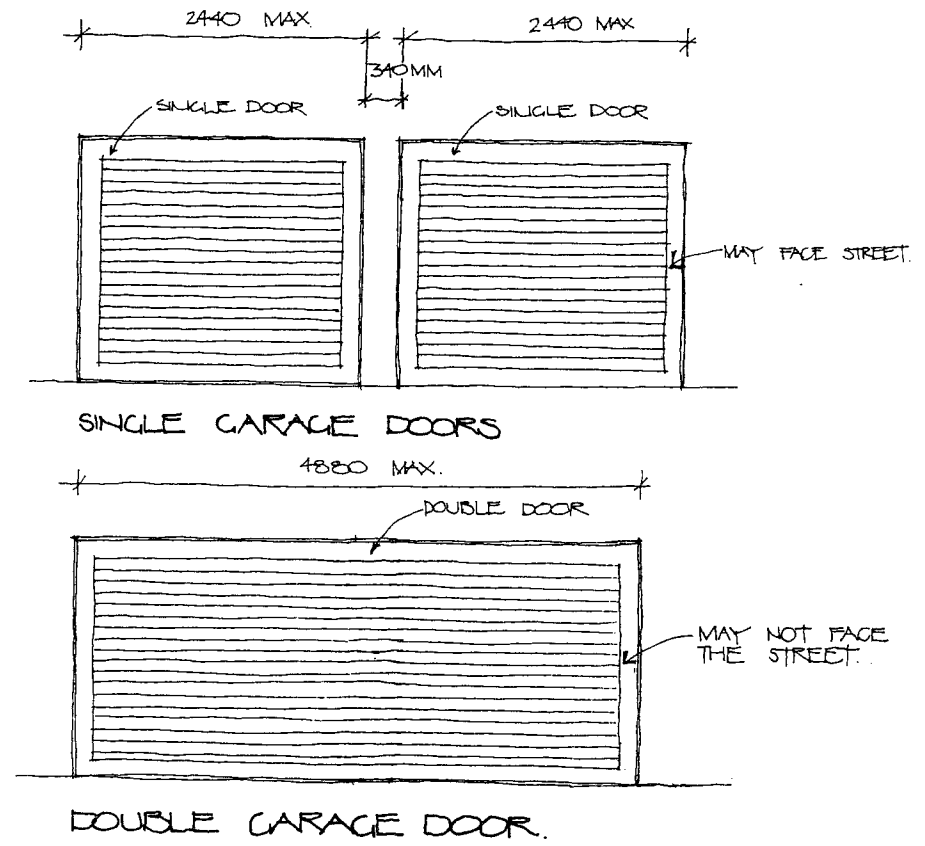
- 9.3.3 Garage doors facing the street to be set back under a pergola supported on a colonnade. (Refer to sketches 28, 29 and 30).

No ornate paneled doors will be allowed.

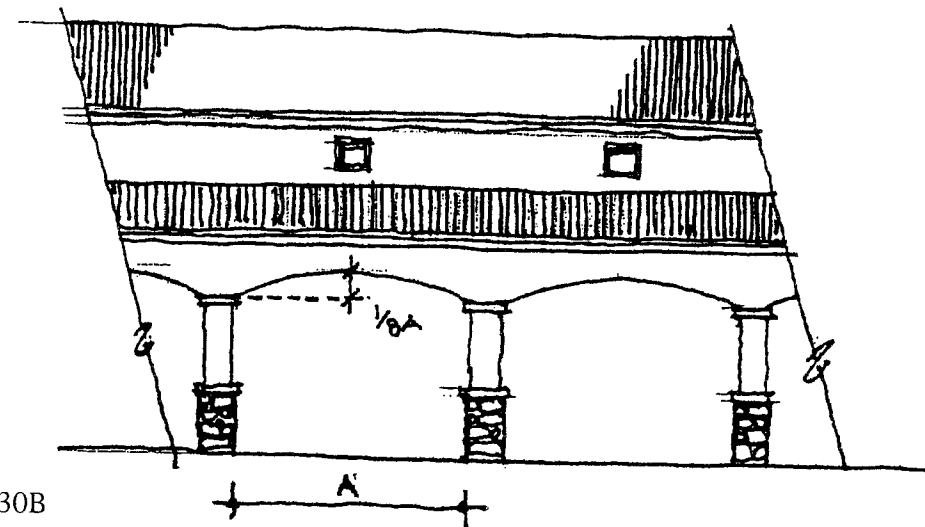
Garage door colours to match window and door colours of house. (Refer to No. 7.2 "Wall materials and finishes - wall finishes").

Note: Natural timber garage doors will be encouraged.





SKETCH 29



SKETCH 30B



10 SHUTTERS

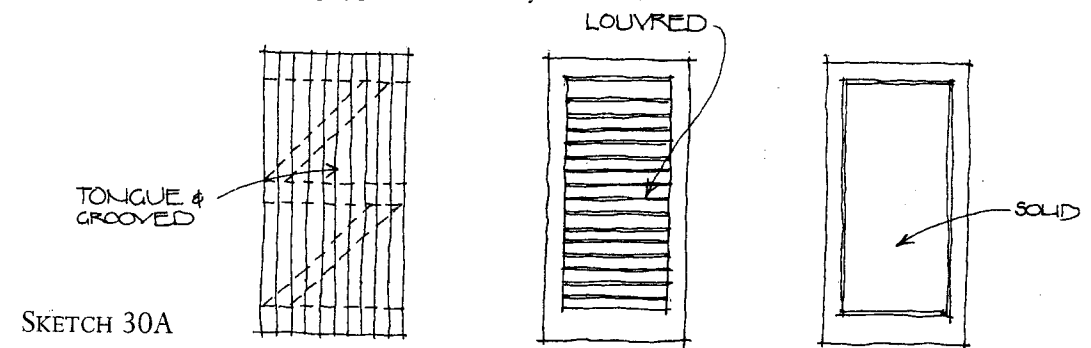
The use of traditional functional timber shutters and aluminum shutters, fixed and adjustable are encouraged. (Refer to sketch 30A).

The colour of shutters are to match that of the doors and windows of the house. (Refer No. 8.2 "Window Finishes").

Non functional shutters will not be allowed.

No PVC adjustable shutters will be allowed.

"Aluminium sliding type shutters may be used, colour to match window".



11 VERANDAHS AND PERGOLAS

11.1 General

11.1.1 Openings between supports should be no greater than 2 x the height of the verandah support. Timber lattice enclosures, or masonry enclosures to either end, as per balconies may be used. (Refer to No.13.4 "Balconies - Balcony Screen walls").

11.1.2 No IBR profiles will be permitted.

11.1.3 Shade cloth on pergolas to be black only.

11.1.4 No Victorian cast iron post or Brookie Lace detail will be allowed.

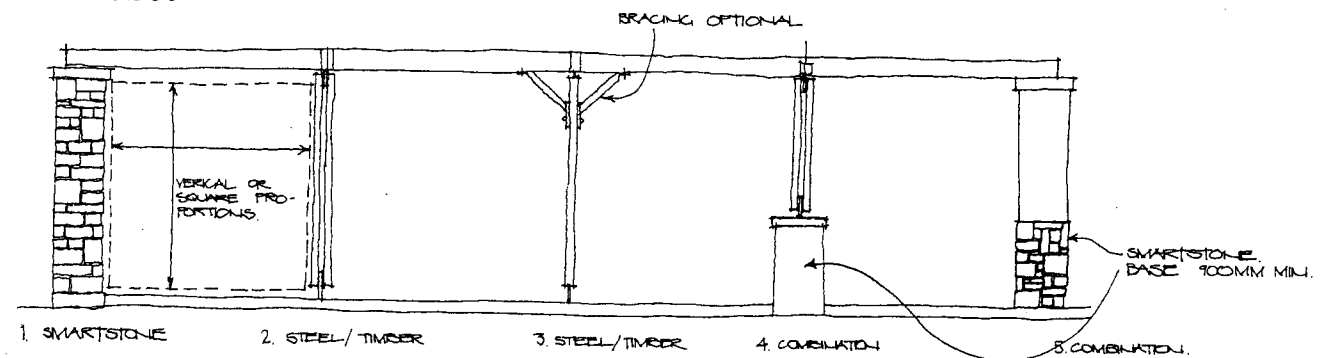
11.1.5 Central pergola support at garage door optional.

11.1.6 Arched Verandah Lintols/Beams

Where masonry piers are used as supports for verandah roofs, an arch should not have a plaster moulding, however the head of the pier may have a plastered capital as per sketch 30B



SKETCH 30



11.2 Support Types (Refer to sketch 30)

- 11.2.1 "Smartstone" or equally approved stone cladding columns minimum 500mm square.
- 11.2.2 Double steel or timber posts with or without a 45° bracing detail at the top of the post.
- 11.2.3 Single steel or timber posts with or without a 45° bracing detail.
- 11.2.4 "Smartstone" or equally approved stone cladding piers to 900mm high with either single or double steel or timber posts above.
- 11.2.5 "Smartstone" or equally approved stone cladding base 350 x 350mm square with smooth plastered masonry pier above.

11.3 Finishes / Colours

Verandah posts and pergolas may be one of the following colours:-

1. Plascon - "Gun Powder" E28-6, or
2. Plascon - "Dark Forrest Herb" VLO-74.
3. Plascon - "Night Life" D26-6

Note: Verandahs posts and pergolas if painted must match the window and door colour of the dwelling (as given above).

Further to these paint colours, timber verandah posts and pergolas may be natural timber, but only one finish / colour per house will be permitted i.e. all verandah posts / pergolas painted or all verandah posts / pergolas natural timber.

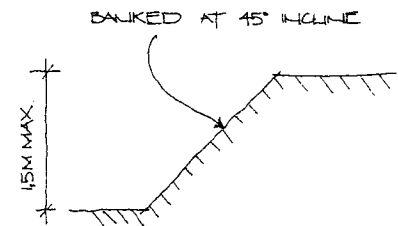
The use of natural timber may be used in conjunction with 1 alternate colour i.e. Natural timber pergola with Charcoal Grey doors and windows.



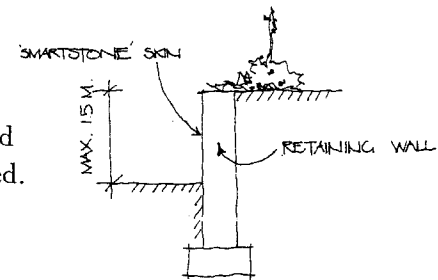
12. RETAINING STRUCTURES

- 12.1 The maximum height of retaining wall will be to 1,5 above the natural around level and similarly the maximum height that the ground floor level may extend above natural ground level will be 1,5m.
- 12.2 Retaining structures may be used. No retaining structure will be higher than 1.5m. Banked Earth at 45° may also be used; no banked earth retaining will be higher than 1.5m (Refer to sketch 31).
- 12.3 Tanalithic treated poles will be the retaining structure allowed. (Refer to sketch 32). (Exemption refer to No. 12.3 and 12.5).
- 12.4 Where sites require the use of a combination of external steps and retaining walls, "Smartstone" or equally approved stone cladding retaining walls up to 1.5m high may be used. (Refer to sketch 32A).
- 12.5 The natural ground level of adjacent site must be reinstated.
- 12.6 Retaining structures on side boundary walls. (Refer to No. 14.3).

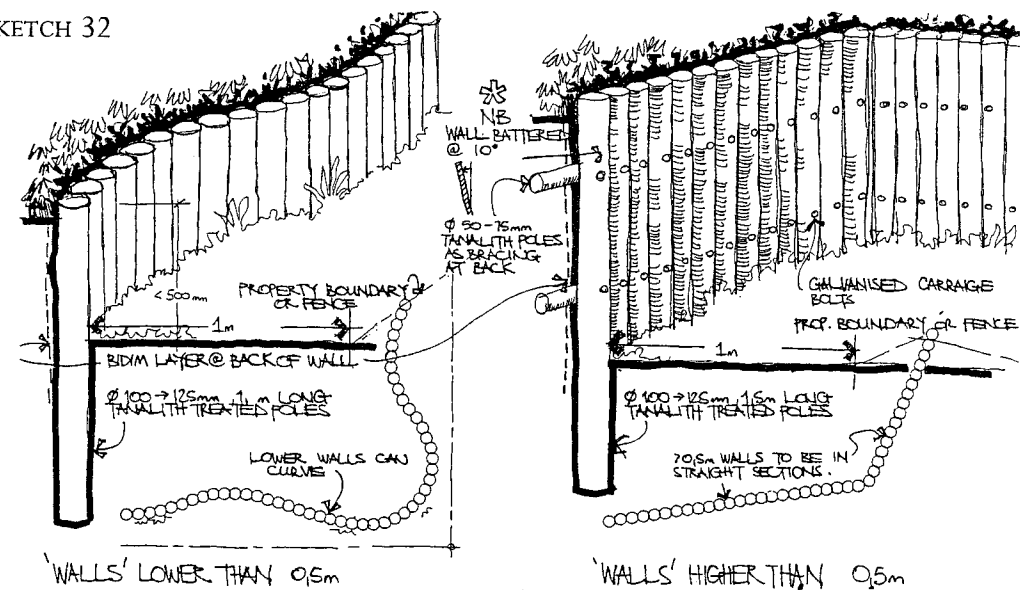
SKETCH 31



SKETCH 32A



SKETCH 32





13. BALCONIES

13.1 General

Provision has been made for balconies. It should be noted that section "3.2 Height" and section 2.2.2 (viii) and (ix) still applies.

- 13.1.1 Balconies may run either full length or portion of the length of either side of a major form and can be up to 3.0m wide. In addition to this, balconies may be roofed with an extension of the major plan forms roof i.e. not necessarily roofed with a lean-to roof. We note that the maximum height restriction has been lifted from 6,5m above natural ground level to 8m above natural ground level to help facilitate and encourage the use of portions of double storey. This 8m height is restricted to 35% of the foot-print of the house.
- 13.1.2 No lean-to verandah or pergola may be permitted in front of the balcony at ground level. Heavier-looking supports should be used on the lower level and lighter-looking supports on the upper level. (Refer to sketch 34).
- 13.1.3 Where a Golf Course boundary or a street boundary is also a side boundary to another site, no balcony or overlooking feature will be permitted. (Refer to sketch 36).
- 13.1.4 A lean-to may be used on a double storey, but not on the golf course or street elevation. This double storey lean-to must conform to Clause 2.2.2 (viii) and (ix), to Clause 4.1.2, and to Clause 13.1.5.

13.1.5 Enclosing Balconies with glass

Balconies may be enclosed with sliding glass doors [full height]. Sliding glass door frames are to be centred on centre line of balcony post/supports. (See sketch 37A)

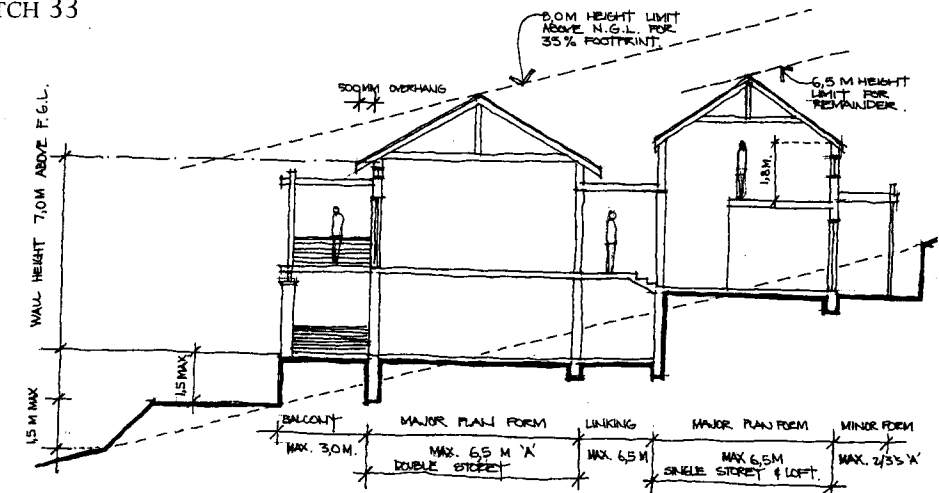
Note: When balconies are enclosed with glass, they must be accompanied with Timber venetian blinds or similar subject to approval by the Architectural Design Review Committee.

Sliding Glass doors must be installed behind the plane of the balcony support and balustrading, and both support and balustrading must be maintained if sliding glass doors are installed.

Note: Designers are to refer to the as built example at the Golf Club House.



SKETCH 33



13.2 Balcony Supports

The supports for the balcony: -

- "Smartstone" or equally approved stone cladding piers.
- Plastered masonry piers with "Smartstone" plinth.
- Double timber or painted double steel posts. (Refer to "11.2. Verandahs, Pergolas").
- Single timber or painted steel posts. (Refer to No. 11.2 "Verandahs, Pergolas").

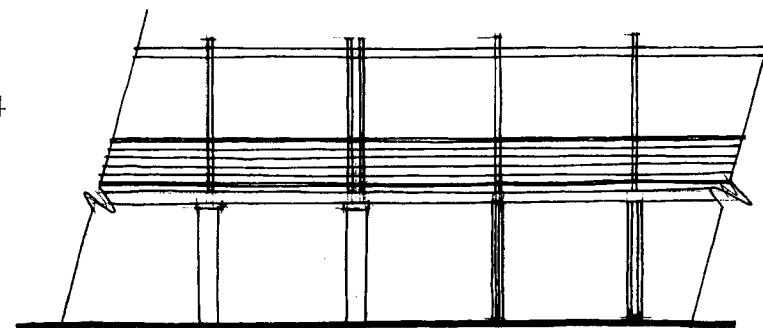
The proportions between supports of the balcony must be vertical or square.

13.3 Balustrading

13.3.1 Balustrading to balconies will conform to National Building Regulations, will be either painted galvanised steel, powdercoated aluminium, or natural timber or painted timber.

13.3.2 Balustrades will be one of the following designs. (Refer to sketch 34A & 17B).
Balconies may utilise horizontal stainless steel cabling as balustrading between timber uprights. (Refer to sketch 9A & sketch 17C).

SKETCH 34

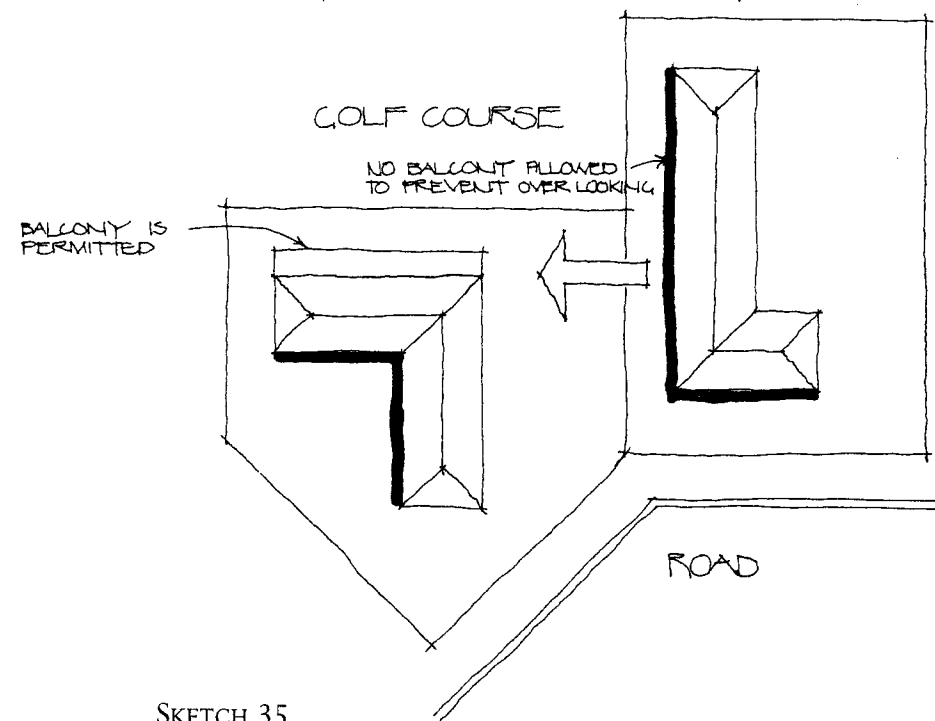
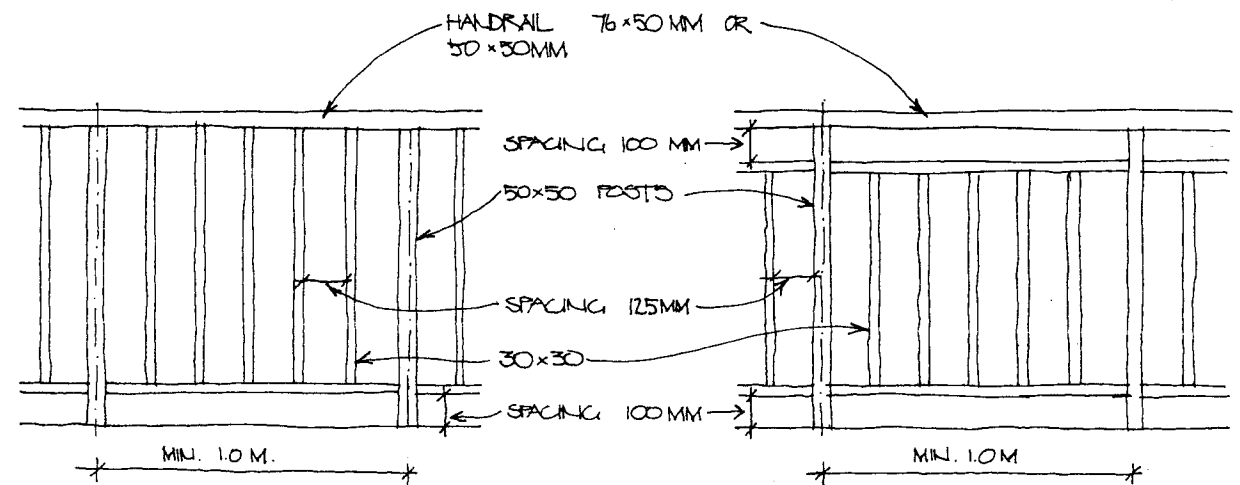




13.4 Balcony Screenwalls

Balconies must be screened at either end with masonry walls which form a low parapet of maximum 300mm above balcony roof and that does not project vertically higher than 400mm below the main roofline, (Refer to sketches 37), or sits under the Balcony roof. Refer to existing manual regarding the necessity for a balcony screen wall to prohibit overlooking. Where consent from affected parties has been given in terms of a letter of no objection, balcony screen walls may be omitted to further exploit the potentials view from a balcony and associated floor.

SKETCH 34A

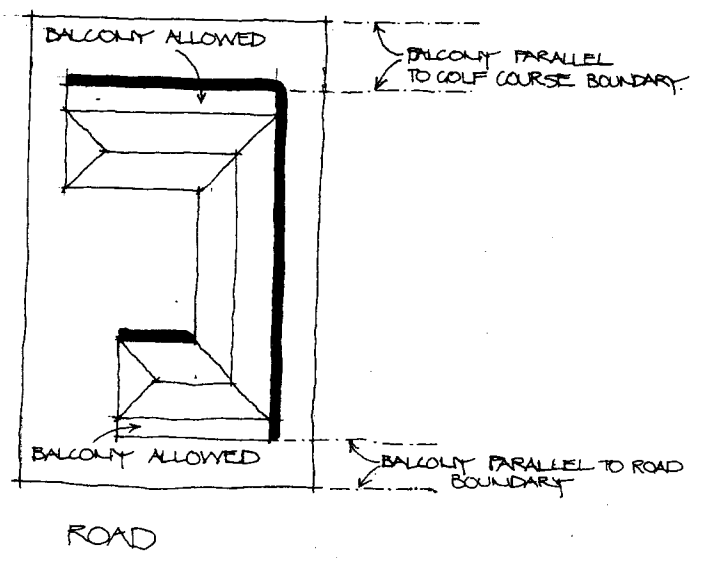


SKETCH 35

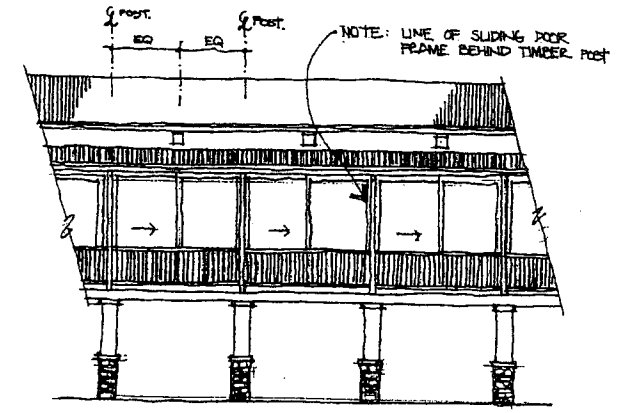
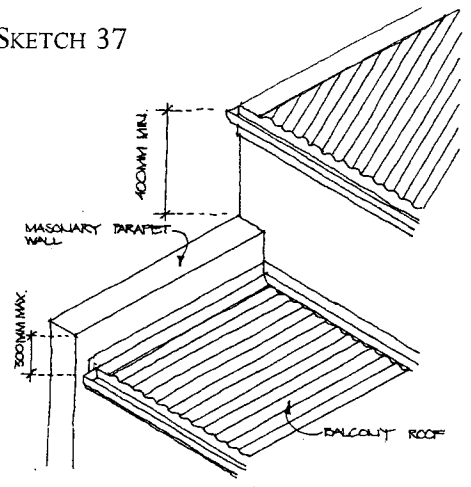


GOLF COURSE

SKETCH 36



SKETCH 37



SKETCH 37A



14. BOUNDARY WALLS AND FENCES

14.1 General

Generally boundary walls and fences should form a cohesive part of the built form. They should be seen as an extension of the buildings on each site and act to create cohesion and continuity, by connecting to the buildings. This will create outdoor courts and contained space in keeping with traditional 'Ring Muur' enclosure.

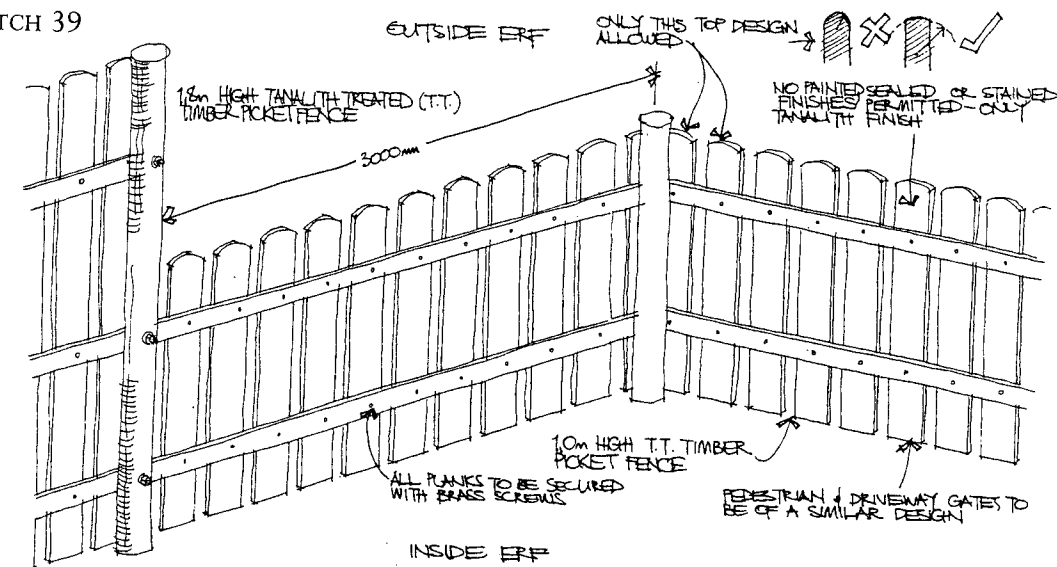
14.2 Street Boundary Walls

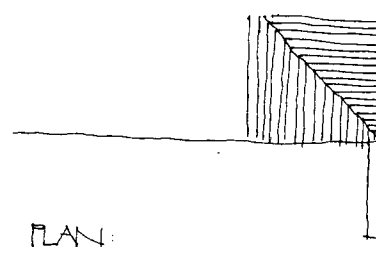
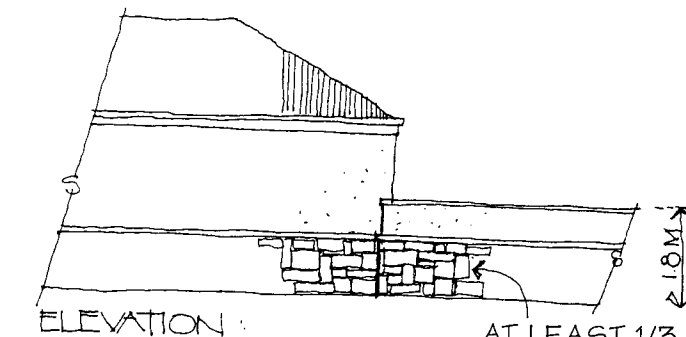
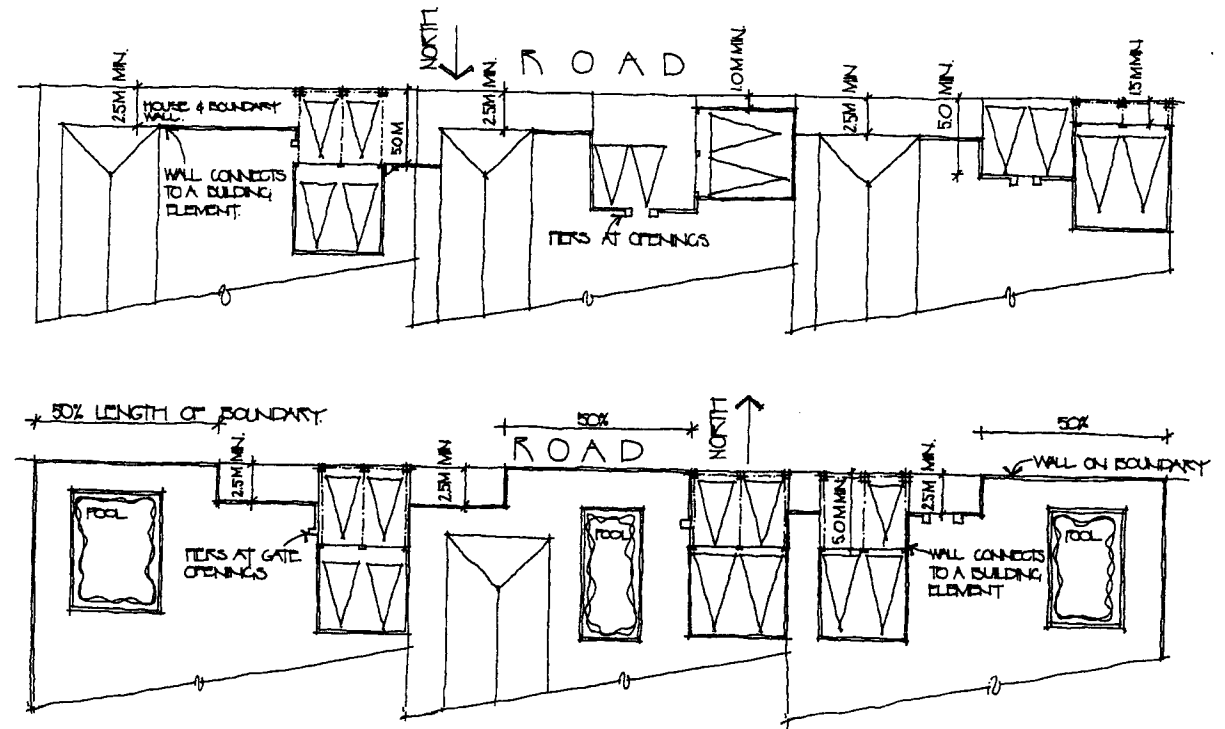
To prevent bland streetscapes and to create a cohesive "Cape Farm House" environment, boundary walls on the street boundary will not be permitted. A wall, maximum height 1.8m high may be used to form courtyard and forecourt enclosure between building elements and/or side boundary walls. Such walls will have a minimum setback of 2.5m from the street boundary. (Refer to sketch 38). These walls must be attached to a building element.

Wherever boundary walls occur on the street boundary the wall must reflect the main house or garage materials (in height and colour). (Refer to sketch 38A).

Special exception will be given where the location of a swimming pool or living area requires a fence within this 2.5m setback. In such instances a 1.8m high masonry wall will be permitted on the street boundary. These walls will be restricted to a maximum length 1/2 (50%) of the length of the street boundary. (Refer to sketch 38). If these walls are on an incline then principle 14.3 notes 1 to 3 should be applied.

SKETCH 39





AT LEAST 1/3 OF THE HEIGHT OF BOUNDARY WALLS AND GARDEN WALL MUST BE CLAD IN "SMARTSTONE" OR EQUALLY APPROVED STONE CLADDING AND MAY BE FULLY CLAD TO A HEIGHT OF 1.8M.

WALL TO CONNECT TO A BUILDING ELEMENT.

SKETCH 38A



14.3 Side Boundary Walls / Fences

- 14.3.1 Side boundaries may be enclosed with any of the following: -
- Plastic coated Diamond mesh / tanalith treated poles 1.8m maximum height (Refer to sketch 40).
 - 1.0m high wire strand and tanalith treated pole. (Refer to sketch 41).
 - "Smartstone" or equally approved stone cladding wall 1.0m high
 - Maximum 1.8m high timber picket fence (tanalith treated).
 - Maximum 1.8m high masonry wall. (Refer to sketch 42).
 - Maximum 1.8m high timber lattice (tanalith treated).

Side boundary "Smartstone" or equally approved stone cladding or masonry walls must be set back a minimum of 2.0m from the Golf Course boundary

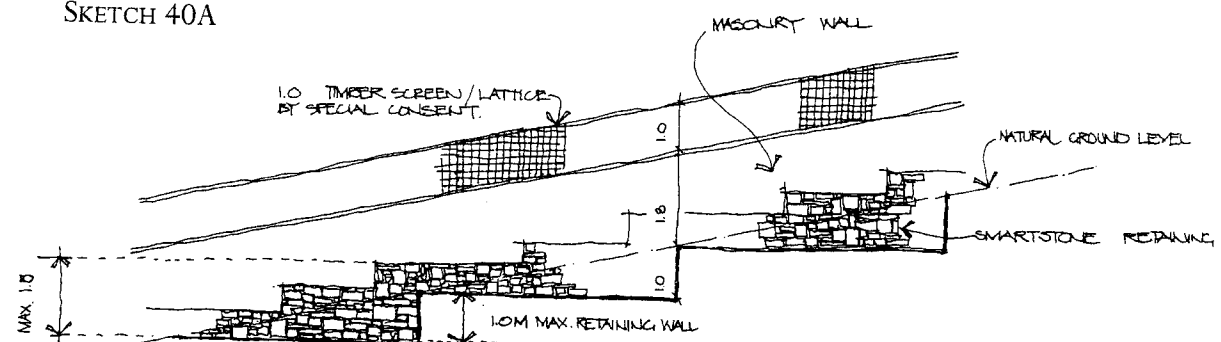
Side boundary walls should extend as far as the main building and should be returned to a building element. (Refer to sketch 38 and 38A).

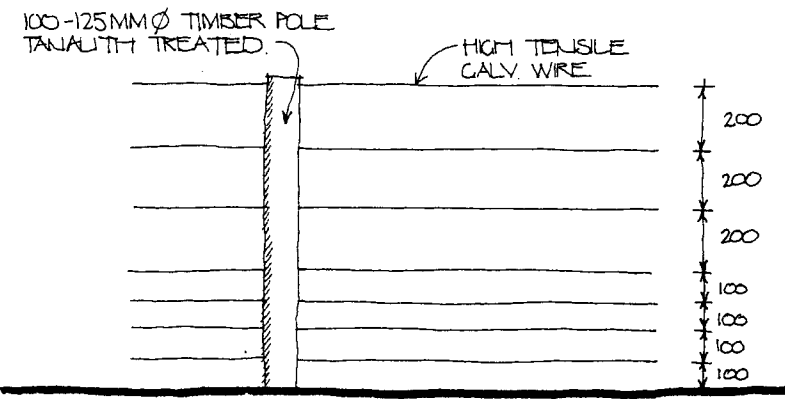
Where one erects a side boundary wall, that entire wall (both sides) will be finished to a level of plaster and paint.

Note:

1. Where a sloping site dictates the reinstating of the natural ground level of an adjacent site by means of a retaining structure, a "Smartstone" retaining wall up to 1.0m high may be used on the boundary. Above this a 1.8m high masonry wall may be constructed.
2. On sloping sites where overlooking can be shown to be a problem, special application may be made to the Atlantic Beach Design Review Committee to erect a 1m high timber lattice fence. (Refer to sketch 40A).
3. On sloping sites masonry walls and fences will follow the slope of the natural ground lines. Stepped walls and fences may be permitted upon special application to the Atlantic Beach Design Review Committee.

SKETCH 40A





SKETCH 41

SKETCH 40

